

ENVISIONING OUR UXBRIDGE RURAL ISSUES OPEN HOUSE

November 2025

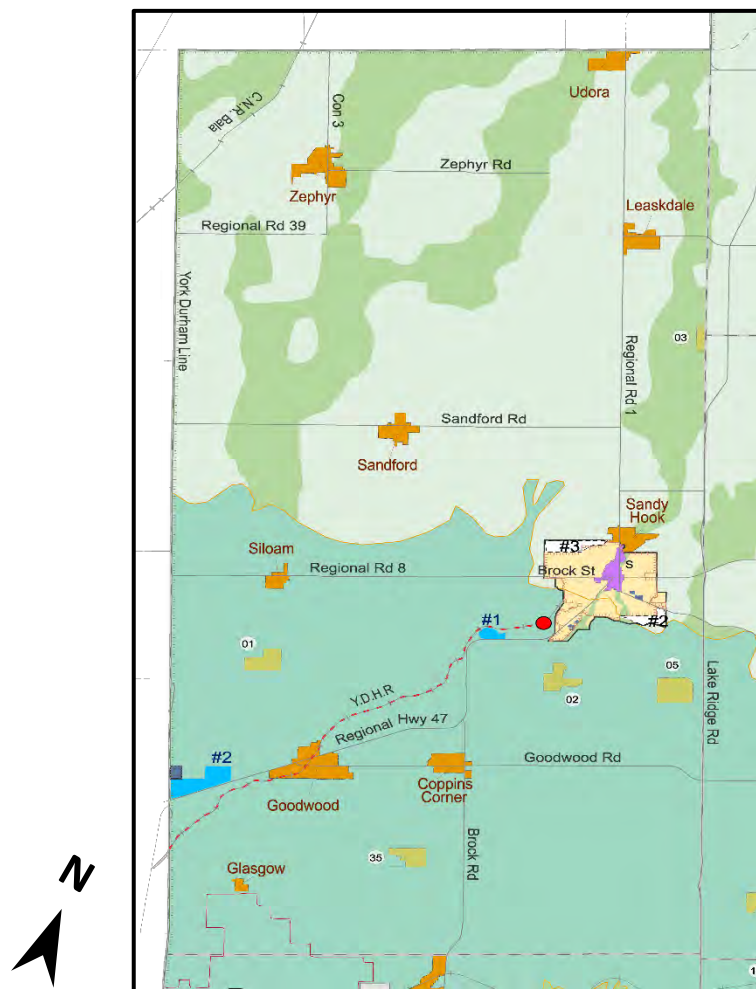


What is the Township Official Plan ?

- Township's long range comprehensive land use planning document.
- Establishes the long-term vision for the community and guides decision-making framework for Council.
- The Official Plan has historically incorporated the Durham Region Official Plan (DROP) – Envision Durham for rural lands outside the Uxbridge Urban Area.
- Changes in Provincial legislation mean that DROP is now part of the Township's Official Plan.



Current Rural Designations



Uxbridge



Official Plan of the Regional Municipality of Durham

Map 1.

Regional Structure – Urban & Rural Systems

Urban System

- Urban Area Boundary
- ▨ 2051 Urban Expansion Areas
- Urban Growth Centres (UGC)
- Protected Major Transit Station Area (PMTSA)
- ▨ UGC / PMTSA Overlap
- Regional Centres
- Rapid Transit Corridor
- Regional Corridor
- Rural Regional Centres
- ▲ Waterfront Place
- Community Areas
- Employment Areas
- ▨ Rapid Transit Corridor - Employment
- ▨ Built Boundary
- ▨ Former Hamlet Areas

Greenlands System

- Major Open Space Areas
- Waterfront Areas
- Oak Ridges Moraine
- ▨ Greenbelt Boundary (excluding Urban River Valleys)

Rural System

- Hamlets
- Country Residential Subdivision
- Rural Employment Areas
- Shoreline Residential
- Prime Agricultural Areas

Infrastructure

- Existing GO Station
- Proposed GO Station
- Existing GO Rail
- - - Proposed GO Rail
- Rail
- ⊕ Existing Airport
- ⊕ Future Airport
- NGS Nuclear Generating Station
- Ⓢ Municipal Service

Special Areas

- ▨ Special Study Areas
- ▨ Specific Policy Areas

Key Policy: Agricultural System

Agricultural System – designed to protect farm land and support agri-food industry:

- Prevents fragmentation and loss of agricultural land
- Avoid encroachment of non-agricultural land uses
- New and expanding livestock operations subject to Provincial Minimum Distance Separation formulae
- Promote agricultural uses and normal farm practices
- Limit any creation of new lots and fragmentation of land

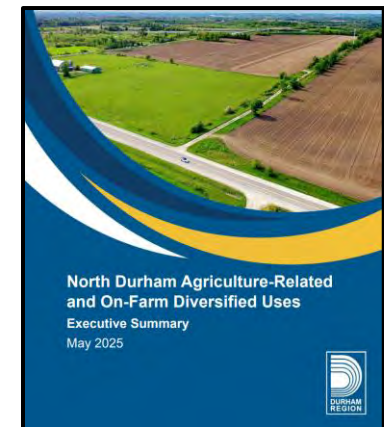
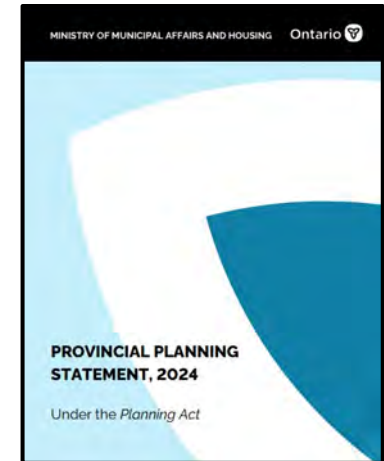
Key Policy: Greenlands System

Greenlands System – designed to conserve, protect and enhance water and land resources, and an interconnected natural heritage and water resource system

- Includes Major Open Space Areas, Oak Ridges Moraine Areas and Waterfront Areas (see Map 1)
- Intent is to protect Greenlands System from intrusion from urban type land uses
- Development has to demonstrate how it will protect the natural environment

Agriculture- Related / On-Farm Diversified Uses

- Provincial policy supports agriculture-related and on-farm diversified uses (ARU/OFDU) in rural areas but they are to be compatible with surrounding agricultural uses
- DROP permits these uses in Prime Agricultural and Major Open Space Areas and the Oak Ridges Moraine
- The North Durham Agriculture-Related and On-Farm Diversified Uses Study April 2025 established a general approach for consideration with respect to these uses.



What are ARU & OFDU's?

Agriculture –related Uses: Farm related commercial and industrial uses that are directly related to farm operations in the area, support agriculture, benefit from being in close proximity to farm operations, and provide direct products and/or services to farm operations as a primary activity

On-farm Diversified Uses: means uses that are secondary to the principal agricultural use of the property; and are limited in area. On-farm diversified uses include, but are not limited to, home occupations, home industries, agri-tourism uses, uses that produce value-added agricultural products, and electricity generation and transmission systems, and energy storage systems



ARU Criteria

ARUs are permitted in Prime Agricultural Areas if they meet the following proposed criteria:

- Farm-related commercial or industrial use
- Directly related to the farm operations in the area
- Support agriculture
- Provides direct products and/or services to farm operations as a primary activity
- Benefits from being in direct proximity to farm operations
- Compatible with, and does not hinder, surrounding agricultural operations

OFDU Criteria

OFDUs would be permitted in Prime Agricultural Areas if they meet the following proposed criteria:

- Located on a farm
- Secondary to the principal agricultural use
- Limited in area
- Supports agriculture
- May include home occupations, home industries, agri-tourism, and value-added uses
- Compatible with, and does not hinder, surrounding agricultural operations

ARU/OFDUs: Tell us what you think!

Do you support ARUs and OFDUs? If so, should they be in specific areas of the Township?

What criteria should ARUs and OFDUs be subject to?

What type of ARUs and OFDU's do you think would best support the agricultural community in Uxbridge?

Additional Dwelling Units (ADUs)

- In Rural Areas, the Official Plan currently permits ADUs.
- In Rural Areas, ADUs are subject to the policies of the Greenbelt Plan and Oak Ridges Moraine Plan, but may be permitted in the following:
 - One additional unit in a detached, semi-detached or rowhouse ; or
 - One additional unit in an accessory building



ADUs

- ADU may also be subject to site plan control if the ADU is located in an addition or accessory building
- A rezoning for an ADU in an accessory building in the Rural and Hamlet Areas must also:
 - Be in a location which does not provide for a severance
 - Building size is clearly ancillary or accessory to main unit generally not larger than 93 square metres
 - Appropriate buffering from neighbouring uses
 - Design accessible for disabled and seniors

ADUs: Tell us what you think!

Do you have concerns or support ADUs in the Rural Area?

Do you prefer specific types of ADUs? (i.e. in existing dwelling or in accessory buildings)

Should there be restriction on the size, scale or location of ADUs?

Surplus Farm Dwellings

DROP encourages the consolidation of farms. Severance of farm dwellings rendered surplus as a result of consolidation may be granted provided:

- Farms are merged in a single parcel or where parcels are not abutting farm consolidation is a condition of approval
- Dwelling is not needed for a farm employee
- Dwelling in existence of date in applicable provincial plan
- Retained farm parcel zoned to prohibit further severances
- Two abutting farm parcels merged as condition of approval
- Maximum size of lot is size required for private services
- No further severances to be granted

Other Consents

Consents/severances that do not result in a new lot are permitted for:

- Minor lot line adjustment for purposes such as easements
- Rights-of-way
- Correction to titles
- Building or servicing encroachments on abutting lots
- Conveyances between existing lots of record

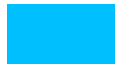
Rural Residential: Tell us what you think!

Do you think the current policies balance protection of farmland and flexibility to consider adjustments to lot lines?

Rural Employment Areas

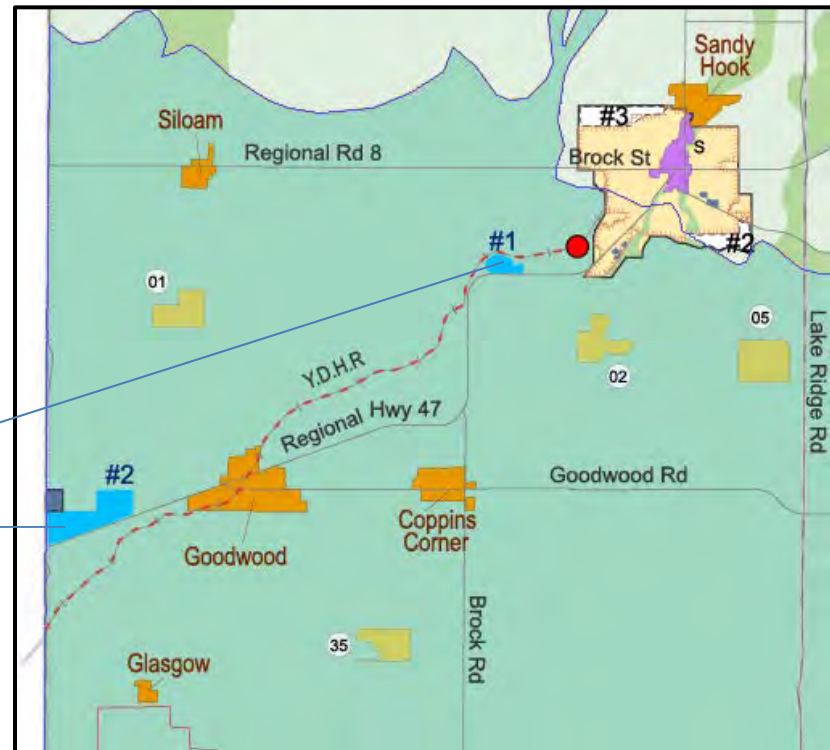
Two Rural Employment Areas in Uxbridge:

Rural Employment Areas:



Rural Employment Area #1

Rural Employment Area #2



Permitted uses: such as manufacturing, assembly, processing, generation, freight and transportation, warehousing, storage, and major facilities

Rural Employment Areas

- Not detract from surrounding natural environment or require significant alterations to topography, waterways or vegetation
- Be of high-quality design and take advantage of exposure to major transportation corridors
- Demonstrate that any impacts from development or site alteration on agricultural activities will be mitigated
- Demonstrate that the development or site alteration does not have an adverse cumulative impact on the environment



19 Anderson Blvd



40 Anderson Blvd

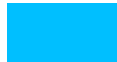


1 Parratt Rd

Rural Employment Areas (cont'd)

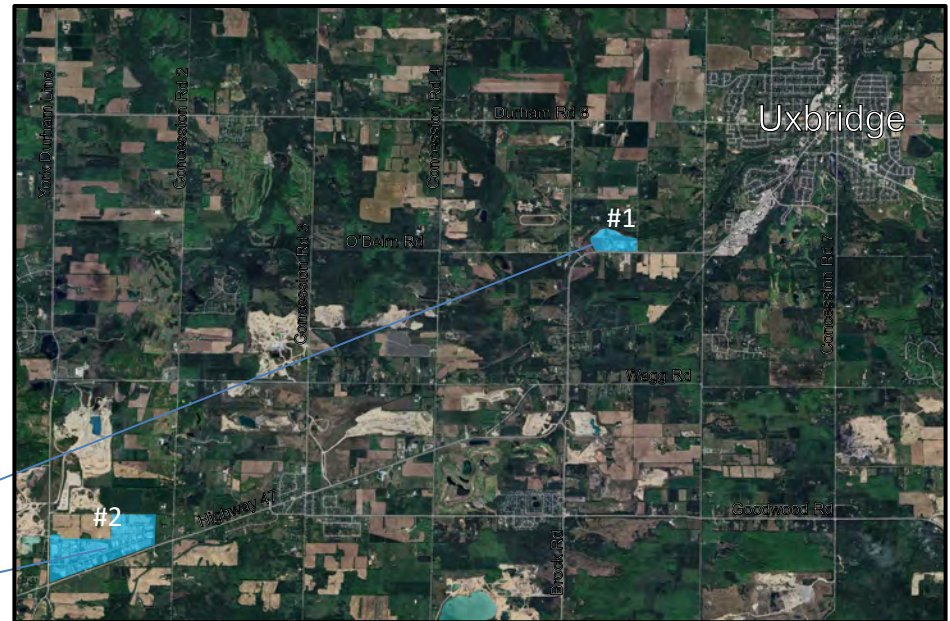
- Additional rural employment lands were approved by the Ontario Land Tribunal south of Rural Employment Area #2:

Rural Employment Areas:



Rural Employment Area #1

Rural Employment Area #2



Cultural Heritage

DROP encourages municipalities to:

- Adopt policies to protect and enhance cultural heritage resources
- Engage with indigenous communities when identifying, protecting and managing cultural heritage and archaeological resources in accordance with the detailed direction in the DROP policies
- Require areas having archaeological potential to be studied to their full extent before development.



Rural Areas: Tell us what you think!

What do you like or dislike about the Rural Area now? What should we think about to improve it?

What would you like to see more or less of in the Rural Area?

QUESTIONS or COMMENTS?

Please discuss with the Project Team

Or

Submit comment sheet in-person

or online: opreview@uxbridge.ca