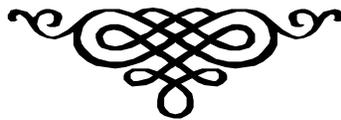


# Official Plan



Township of Uxbridge

Office Consolidation

Including Official Plan Amendments No's: 1, 2, 4-19,  
22 - 29, 31-37, 39, 41-44, 46-53, 54-59, 61-68, 70,  
71, & 73.

## HISTORY OF OFFICIAL PLAN AND AMENDMENTS

### TOWNSHIP OF UXBRIDGE

Amendment No.	Council Adoption	Ministerial Approval
Original Official Plan	Not Applicable	July 24, 1970
O.P.A. #1	November 29, 1978	June 26, 1979
O.P.A. #2	April 6, 1977	June 16, 1977
O.P.A. #3	Not Processed	
O.P.A. #4	July 26, 1978	June 26, 1979
O.P.A. #5	July 26, 1978	June 26, 1979
O.P.A. #6	November 10, 1981	December 10, 1981
O.P.A. #7	November 10, 1981	December 10, 1981
O.P.A. #8	November 21, 1984	July 24, 1985
O.P.A. #9	July 15, 1987	November 12, 1987
O.P.A. #10	July 15, 1987	September 3, 1987
O.P.A. #11	March 23, 1988	April 25, 1988
O.P.A. #12	February 20, 1991	December 3, 1991
O.P.A. #13	September 9, 1991	April 13, 1992
O.P.A. #14	March 30, 1992	May 29, 1992
O.P.A. #15	December 21, 1992	
O.P.A. #16	June 10, 1996	July 25, 1996
O.P.A. #17	June 9, 1997	October 30, 1997
O.P.A. #18	October 6, 1997	November 20, 1997
O.P.A. #19	July 26, 1999	August 22, 2000 - Decision issued OMB approval of portions of OPA #19 Region approved October 31, 2007
O.P.A.#20	Sept. 2003 Modified Oct. 2006 in association with Amendment No. 33	NOT INCLUDED
O.P.A.#21		Application withdrawn
O.P.A.#22		August 23,2004
O.P.A.#23		September 26, 2003
O.P.A.#24		May 7, 2002
O.P.A.#25		July 31,2002
O.P.A.#26		Oct. 16,2002
O.P.A.#27		April 2002
O.P.A.#28		Feb. 20,2003
O.P.A.#29		March 2004
O.P.A.#30		File Closed due to inactivity
O.P.A.#31		July 2004
O.P.A.#32	July 2006	

O.P.A.#33	Twp. Approved March 2005 Modified Oct. 2006 and December 2009	March 24, 2010
O.P.A.#34	July 2006	
O.P.A.#35	July 2006	
O.P.A.#36	July 2006	
O.P.A.#37	July 2006	
O.P.A.#38	NOT USED	
O.P.A.#39	Oct. 2006	
O.P.A.#40	Sept. 2006	NOT INCLUDED
	Appealed to OMB	
O.P.A. #41	June 2007	
O.P.A. #42	April 2007	
O.P.A. #43	June 2007	
O.P.A. #44	May 2008	
O.P.A. #46	February 27, 2012	
O.P.A. #47	February 2009	
O.P.A. #48	April 2009	
O.P.A. #49	July 2009	
O.P.A. #50	June 25, 2010	Region Approved July 19, 2012
O.P.A. #51	September 12, 2011	
O.P.A. #52	October 28, 2013	Region Approved Dec. 23, 2013
O.P.A. #53	April 23, 2012	
O.P.A. #54	November 11, 2013	
O.P.A. #55	December 14, 2020	
O.P.A. #56	July 15, 2016	
O.P.A. #57	July 15, 2016	Region Approved Jan. 10, 2017
O.P.A. #58	June 12, 2017	Region Approved June 27, 2019
O.P.A. #59	July 10, 2017	
O.P.A. #60	Reserved for Five-Year Review	
O.P.A. #61	September 11, 2017	
O.P.A. #62	July 16, 2018	
O.P.A #63	August 12, 2019	
O.P.A #64	January 24, 2022	
O.P.A #65	August 9, 2021	
O.P.A #66		OLT Issue Date April 4, 2024
O.P.A #67	June 13, 2022	
O.P.A #68	June 27, 2022	
O.P.A. #70	February 12, 2024	
O.P.A #71	May 8, 2023	
O.P.A #73	October 21, 2024	

### List of Active Deferrals

Deferral #2	Section 2.5.22 Special Policy Area
Deferral #4	Designation as shown on Schedule "A"

### List of Non-Decision Areas (Map H)

Site #1	Golf Course
Site #2	M1-19 and M1-20
Site #3	M1-14
Site #4	Golf Course
Site #5	Commercial Site
Site #6	Golf Course
Site #7	RU-6
Site #8	M5-2 Concrete Batching Plant
Site #9	Golf Course
Site #10	Ski Hill
Site #11	Ski Hill
Site #12	Ski Hill

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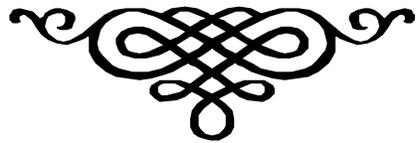
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## **SECTION 1 GENERAL POLICIES**



## 1.1 GENERAL

- 1.1.1 The following text and Schedules "A", "B", "B1", "B2", "C", "D", "E", "F", "G", "H", "I", "J", "K", and "L" constitute the "Official Plan of the Township of Uxbridge". In addition, Map 1, which identifies the key policy areas including the areas subject to the Greenbelt Plan, Oak Ridges Moraine Conservation Plan and the Lake Simcoe Protection Plan, is provided for information purposes.
- 1.1.2 In addition to the detailed policies and designations of this Official Plan, the applicable policies in the Durham Regional Official Plan, amended from time to time, apply to the Township of Uxbridge.
- 1.1.3 The Official Plan for the Township of Uxbridge shall be amended forthwith to conform with future amendments to the Durham Regional Official Plan as they are approved by the Minister. It is recognized, however, that in the future some time may lapse before this Official Plan can be amended to conform to the Durham Regional Official Plan as amended from time to time. In the event of conflict between the provisions of this Official Plan and the provisions of the Durham Regional Official Plan, the provisions of the Durham Regional Official Plan shall prevail to the extent of that conflict.

## 1.2 COMMUNITY VISION

The community vision, strategic directions, goals and objectives were established through the Township's Strategic Plan, Uxplan 2020. The vision for the Downtown was further developed in the Downtown Vision and Action Plan in 2009. These directions provide general guidelines for the planning of the Township and should not be interpreted as direct statements of planning policy, rather they form the basis for the formulation of policies in the Plan.

### 1.2.1 Community Vision

Uxbridge Township - A Rural Ontario Treasure

Uxbridge Township is a vibrant, caring community that will protect and enhance:

- i) the beauty and tranquillity of its rural setting through managed growth;
- ii) the local natural environment;
- iii) the close-knit lifestyle of a small historic town and hamlets;
- iv) the local economy, both urban and rural; and,
- v) the social, cultural, recreational and health programs.

### 1.2.2 Downtown Vision

Downtown Uxbridge is the vibrant focus of a thriving small town set in rolling hills and reflecting its strong agricultural heritage.

There is an active street scene, with people - residents and visitors - shopping, browsing, enjoying the company of friends in restaurants and cafes, and strolling along pleasant and attractive streets. A range of stores, more varied and attractive than in the past, and other commercial enterprises, many run by local entrepreneurs, has made it attractive as a place to shop and conduct business. Vacant stores are a thing of the past. The pedestrian orientation of the downtown streets is evident from the modest flow of traffic, with few trucks. A small park, or "town square" in the centre of town provides a focal point for community activities, or for simply relaxing in a pleasant park setting. The

town's farming roots are evident from the colourful farmer's market that attracts both residents and visitors, and provides a valuable means for area farmers to offer their produce. A grocery in the downtown provides essentials without the need for a car.

The Uxbridge Brook, once completely out of sight in the downtown area, is once again visible, providing an attractive natural feature to complement the large shade trees along the main streets. The streets themselves reflect Uxbridge's heritage and history, with buildings that have had their exteriors remodeled or renovated in keeping with established heritage guidelines, and signage and street furnishings in tasteful harmony. The rear aspects of buildings facing public areas are no longer an eyesore. The older heritage buildings are complemented by some newer structures (some replacing eyesores or deteriorating buildings), some of which may be more modern in design, but enhance the character of the town.

Uxbridge's reputation as an intensively artistic community is evident from the many works of public art installed around the town, giving it a unique character. And its designation as "The Trail Capital of Canada" is evident from the extensions of the extensive trail system that reach into the downtown, enabling people to walk or bicycle from downtown into surrounding natural areas. Ease of access is provided through numerous public parking areas, well-marked and attractive in design and landscaping. Similarly, ease of access for the physically challenged is provided at most stores and all public facilities. The downtown has a diversified population of residents, with accommodation suited to varying economic levels.

In short, downtown Uxbridge is a place that attracts visitors and tourists, and tempts travelers to stop and explore, with appropriate accommodation for those who wish to stay overnight. The downtown offers a good livelihood to business enterprises located there, and provides a commercial and recreational focus for residents.

Uxbridge is a small town in a rural community, with a downtown that has become an attractive destination for visitors and an effective focus for residents, through a bold approach by the Council and the community, including enlightened planning, good design and wise investment of resources.

### **1.2.3 Strategic Directions, Goals and Objectives**

Strategic directions to achieve the Community Vision, and related goals and objectives are established in Table 1.1 to the Plan.

**Table 1.1  
STRATEGIC DIRECTIONS, GOALS AND OBJECTIVES**

<b>STRATEGIC DIRECTIONS</b>	<b>GOALS</b>	<b>RELATED OBJECTIVES</b>
1. The Future of Uxbridge's Downtown	1. To establish the Downtown as the social, business and retail centre of the community.	1.1 To maintain existing and attract new retail and commercial activities to the Downtown. 1.2 To create an environment in the Downtown that is attractive to residents and visitors.
2. Uxbridge's Economy Now and in the Future	2. To ensure the health of the Township's local economy by supporting its business and tourism sectors.	2.1 To support the agricultural and aggregate industries and the expansion of farm - related businesses in the Township. 2.2 To encourage self-reliance, entrepreneurship and growth of the small business sector. 2.3 To promote increased tourism, building on the Township's assets and heritage.
3. Managing Growth for Sustainable Development	3. To manage the growth of the community in a sustainable manner that balances environmental protection, the preferred lifestyle of residents, and economic viability.	3.1 To guide and direct the location, type and amount of future residential and commercial development. 3.2 To give consideration to the costs and benefits of the physical infrastructure provided to support growth. 3.3 To encourage an appropriate mix of residential, commercial and industrial development to maintain a viable tax base while protecting the rural and small town character of the community.
4. Environmental Protection	4. To protect, enhance and restore natural resources in Uxbridge Township in a manner that contributes to the community's quality of life, identity and economy.	4.1 To protect the quality of surface and ground water in the community. 4.2 To preserve and protect the Oak Ridges Moraine and Natural Heritage System established by the Greenbelt Plan. 4.3 To preserve and promote unique environmental attributes of the community in a manner that contributes to recreational and tourism opportunities.
5. Community Services to Support Quality of Life	5. To maintain and enhance where possible community services to support a high quality of life for Township residents	To work with the Province and other levels of government to maintain and support health and social services to meet the changing needs of residents.

## **1.3 COMMUNITY IMPROVEMENT POLICIES & GOALS**

### **1.3.1 General**

Council shall encourage the maintenance, at an appropriate level, and improvement where necessary, of the physical condition of the Residential, Commercial, Industrial, and other areas within the Municipality and provide the citizens of the Township of Uxbridge with an adequate level of community services.

### **1.3.2 Goals**

The Township of Uxbridge shall:

- (a) preserve the rural character of the Township while encouraging well planned commercial, industrial and residential growth in selected areas;
- (b) ensure that the natural heritage system in the Township and the orderly and controlled use of other natural resources in the Township, such as mineral aggregates, contributes to the improvement of quality of development;
- (c) broaden the economic base of the Township; and,
- (d) continue to make Uxbridge an attractive, safe and efficient place in which to live, work and visit.

### **1.3.3 Objectives**

The Township of Uxbridge shall:

- (a) encourage by all possible means, private efforts to upgrade existing properties;
- (b) in conjunction with upper levels of government, continue to improve municipal facilities and services, to the extent such is financially feasible; and,
- (c) encourage and/or participate in projects and programs which will improve and expand the Township's physical, economic and social well being.

#### **1.3.4 Criteria For Selection Of Community Improvement Areas**

The following criteria shall be used in the selection of Community Improvement Areas:

- (a) areas which contain incompatible land uses either in the form of commercial/residential, industrial/residential or commercial/industrial conflicts which may prejudice or preclude the functional or economic role of the area for its intended residential, commercial or industrial purposes;
- (b) areas which are deficient in terms of the level of services such as roads, sanitary and/or storm sewers and water mains;
- (c) areas which are deficient in terms of sidewalks and street lighting;
- (d) areas which are deficient in terms of neighbourhood and/or community parks, recreational or commercial facilities inclusive of such facilities as swimming pools, athletic fields, community centres, day care centres, libraries, senior citizens facilities or other similar social and recreational facilities, or where such facilities, although existing, require significant upgrading or improvements to be properly, safely and more effectively utilized;
- (e) areas or portions thereof which lie within an identified floodplain or which have natural or man-made drainage characteristics which require such measures as flood proofing or storm water management techniques undertaken to alleviate flooding situations;
- (f) areas which contain man-made hazards such as level railway crossings, poor intersection design or vacant and abandoned buildings or lands, which could be eliminated in order to ensure a greater degree of public safety and to further enhance the function of the area;
- (g) areas which have been identified as having housing stock and/or commercial and/or industrial buildings which have been identified as approaching the end of their functional life, which buildings should either be rehabilitated and restored for a use or uses in keeping with the nature and intended use of the area, or demolished so as to allow for redevelopment of the area;
- (h) areas which contain vacant and under utilized infill lands and buildings or structures which could be developed or redeveloped in a manner which reinforces the functional role of the area, provide opportunities for energy conservation and, at the same time, provide for the enhancement of the municipal tax base;
- (i) areas which contain commercial areas which are in need of, upgrading of buildings and/or streetscape improvements to improve the area's economic

viability as a central place in the community as a whole; and,

- (j) areas which have been identified as having deficiencies in terms of off-street parking and loading facilities in relation to commercial and industrial land uses or off-street parking in relation to residential uses.

### **1.3.5 Selected Community Improvement Areas**

On the basis of the selection criteria contained in Section 1.3.3 above, Community Improvement Areas have been selected, namely:

- (a) the Uxbridge Urban Area;
- (b) the Hamlet of Goodwood;
- (c) the Hamlet of Zephyr;
- (d) The Hamlet of Udora;
- (e) The Hamlet of Leaksdale;
- (f) The Hamlet of Sandy Hook;
- (g) The Hamlet of Coppins Corners;
- (h) The Hamlet of Sandford; and,
- (i) The Hamlet of Siloam.

The limits of the selected Community improvement Areas are delineated on Schedule "C" to this Official Plan with the exception of the Hamlets of Coppins Corners, Sandford and Siloam the limits of which are defined in the zoning by-law.

### **1.3.6 Phasing of Improvements**

The Community Improvement Areas which are delineated on Schedule "C" to this Official Plan are ranked as follows in terms of priority:

- (a) the Uxbridge Urban Area;
- (b) the Hamlet of Goodwood; and,
- (c) the Hamlet of Zephyr.

It is the intention of the Township of Uxbridge to generally follow the priority list noted above. However, circumstances such as the availability of a funding program, budgetary constraints or an unforeseen emergency may require work to be undertaken in an area of lower priority before higher priority projects have been commenced or completed. In such cases, no amendment to this Official Plan shall be required to alter the priority listing.

### **1.3.7 Implementation**

The Township of Uxbridge shall strive to achieve a comprehensive and exhaustive approach to achieve the Goals and Objectives of Sections 1.3.2 and 1.3.3 above. Possible methods of implementation are as follows:

- (a) designation of Community Improvement Project Areas by By-law and preparation of Community improvement Plans;
- (b) utilization of public funds through a variety of Municipal, Regional, Provincial and Federal Programs;
- (c) acquisition of lands;
- (d) enactment and enforcement of a Property Standards By-law;
- (e) enactment of a comprehensive Zoning By-law or development permit by-law, and use of Site Plan Control;
- (f) encouragement of infill development in serviced areas;
- (g) encourage the private sector to utilize available government programs and subsidies including working with the Chamber of Commerce with respect to community improvement initiatives;
- (h) encourage a Business Improvement Area in the Uxbridge Urban Area;
- (i) apply The Ontario Heritage Act in terms of the designation of buildings and heritage districts; and,
- (j) consult with the Region of Durham when making application for available Provincial and Federal Improvement Programs to ensure that all aspects of Community Improvement are considered and obtain the concurrence of the Region relating to Regional sewer and water services and Regional Roads.

In addition, the Township will explore Regional involvement in any Community Improvement Plan through the Regional Revitalization Program (RRP). The RRP

invests in Community Improvement projects which advance the goals and policies of the Durham Regional Official Plan and are designed to achieve positive economic and community objectives.

## **1.4 CULTURAL HERITAGE RESOURCE CONSERVATION POLICIES**

### **1.4.1 General**

Township Council recognizes the importance of the conservation of cultural heritage resources and shall:

- (a) encourage the preservation and conservation of cultural heritage resources within the community through the use of available tools; and
- (b) ensure that permitted physical development and redevelopment protect and conserve cultural heritage resources within the municipality.

Cultural heritage resources include buildings, structures and properties designated or listed under the Ontario Heritage Act, significant built heritage resources, and significant cultural heritage landscapes.

A cultural heritage landscape means a defined geographical area of heritage significance which has been modified by human activities and is valued by the community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a significant type of heritage form, distinctive from that of its constituent elements or parts.

Significant cultural heritage resources are valued by the community for the important contribution they make to our understanding of the history of a place, an event, or a people.

### **1.4.2 New Development**

- (a) All new development permitted by the land-use policies and designations of this Plan shall maintain cultural heritage resources. and integrate such resources into the development. The Township shall encourage the preservation and continued use, including adaptive re-use where appropriate, of cultural heritage resources identified on the Township's Register of Cultural Heritage Resources and their integration into new development proposals through the approval process and other appropriate mechanisms.
- (b) All new development in older established areas of historic, architectural or

landscape value shall be encouraged to develop in keeping with the overall character of these areas. The Township may impose, as a condition of any development approvals, the implementation of appropriate conservation, restoration or mitigation measures to ensure the preservation of any affected cultural heritage resources. In addition, the Township may establish Heritage Sign Districts through its sign by-law to ensure that signage reflects the character of heritage areas.

- (c) All options for on-site retention of buildings and structures which are determined to be cultural heritage resources shall be exhausted before resorting to relocation. Relocation of built heritage resources shall only be considered through a Cultural Heritage Impact Assessment, in accordance with Section 2.7.4 vii) of this Plan, that addresses retention and relocation.
- (d) Consideration shall be given to the effects of public works and development on cultural heritage resources prior to the approval of public works and proposals for development.
- (e) In the construction of new roads and streets and the carrying out of other necessary road improvements in general, including realignment and road widening, consideration shall be given to the impact of such extensions or improvements on cultural heritage resources, especially on the character of streetscapes and major crossroads or intersections.
- (f) In all areas, Township Council shall ensure that great care be taken to preserve mature trees and other vegetative amenities. Existing landmark trees and hedge lines shall be an essential consideration in the design of any development. The preservation of trees along streets and roads shall be encouraged by Township Council, except where removal is necessary because of disease damage, or to ensure public health and safety, in which case, such removal shall only be undertaken subsequent to the approval of Township Council.
- (g) Township Council shall encourage measures which enhance public appreciation and visibility of cultural heritage resources including interesting buildings, structures, or landscapes of historic, archaeological or scenic value.

### **1.4.3 Conservation**

- (a) It shall be the policy of Township Council to use all relevant legislation including the Ontario Heritage Act, Planning Act, Environmental Assessment Act and the Municipal Act to ensure the preservation and enhancement of cultural heritage resources, including their adaptive re-use where appropriate, and integration into new development.
- (b) Pursuant to The Ontario Heritage Act, Township Council:

- i) may establish a Municipal Heritage Committee;
  - ii) shall maintain a Register of Cultural Heritage Resources of all known properties of cultural heritage value or interest;
  - iii) may designate cultural heritage resources;
  - iv) may establish heritage conservation districts and adopt heritage conservation district plans for each district;
  - v) may establish guidelines on the management of cultural heritage resources; and,
  - vi) may designate cultural heritage landscapes;
  - vii) may designate pioneer cemeteries;
  - viii) may pass by-laws providing for the entering into of easements or covenants for the conservation of property of cultural heritage value or interest;
  - ix) may establish policies and/or urban design guidelines, including guidelines with respect to signage, to recognize the importance of cultural heritage context;
  - x) may establish Heritage Sign Districts through its sign by-law to ensure that signage reflects the character of heritage areas.”
- (c) Township Council may prepare a Plan and guidelines for designated Heritage Conservation Districts. These may indicate policies and actions to be undertaken to conserve the district. The Plan shall also guide Township Council in its decision making regarding applications for alterations and new development pursuant to The Ontario Heritage Act.
- (d) Pursuant to The Planning Act, Township Council may pass by-laws: to ensure the protection of heritage features; to ensure that land uses and physical development complement heritage features; to regulate new development so that it is sympathetic in height, bulk, location and character to heritage features; and to permit increases in height and density of development otherwise permitted by by-law in order to protect heritage features. In considering such by-laws and applications for development and site alteration on adjacent lands to protected heritage property, the Township shall ensure that the proposed development and site alteration is only permitted where an evaluation has been carried out and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.
- (e) Township Council shall ensure that conditions of consent and subdivision approval and agreements provide for the conservation and protection of heritage features or the mitigation of adverse effects on heritage features where these actions reasonably relate to the land to be subdivided.
- (f) Township Council recognizes that there may be archaeological remnants of

prehistoric habitation within the Municipality and important archeological evidence of historic activities which would be of value in future conservation of the built environment. Township Council will therefore facilitate surveys by government or private agencies should those agencies deem it necessary, and may require the protection, conservation or mitigation of sites of archaeological value and areas of archaeological potential within the Township including the preservation or rescue excavation of archaeological resources which might be entailed in any future development as provided for under the Ontario Heritage Act, Planning Act, Environmental Assessment Act, Municipal Act, Cemeteries Act and other applicable legislation.

- (g) Where development may cause an impact to archaeological resources or areas of archaeological potential, an assessment by a qualified professional will be required in accordance with Section 2.7.4 viii) of this Plan. Archaeological resources that are located on the proposed development site will be conserved in accordance with the recommendations of the approved assessment. Development and site alteration shall only be permitted if the significant archaeological resources have been conserved by removal and documentation, or by preservation on site.
- (h) Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site may be permitted.
- (i) Township Council may utilize appropriate government programs to assist in the implementation of heritage conservation policies.

## 1.5 HOUSING

- 1.5.1 The Township encourages the provision of a range of housing types, size and tenure, including affordable housing, within the Urban Area to meet the varied needs of the present and future residents in keeping with the policies of Section 2 of this Official Plan, Uxbridge Urban Area Secondary Plan, and in particular Section 2.5.4, Housing.
- 1.5.2 The Township recognizes that in areas outside the Uxbridge Urban Area the housing choice will be largely limited to single detached dwellings consistent with the character of the area, but will consider housing options in conformity with the Durham Regional Official Plan.
- 1.5.3 The Township will encourage the maintenance and improvement of the existing housing stock in all areas of the municipality.
- 1.5.4 The Township recognizes the policies of the Durham Regional Official Plan which require at least 25% of all new residential units in each area municipality to be affordable to low and moderate income households, and has taken it into consideration through initiatives in keeping with the servicing constraints and financial resources of the Township such as the policies of this Official Plan which permit second residential units. To further the implementation of this policy, the Township will consider participation in initiatives undertaken by the Region of Durham with respect to housing which are applicable to the municipality, and in keeping with its servicing constraints and financial resources.

## **1.6 SUSTAINABILITY STRATEGY**

### **1.6.1 Purpose**

The Township is committed to developing a “culture of conservation” which reflects the principle of sustainable development – “development which meets the needs of the present without compromising the ability of future generations to meet their own needs.”<sup>1</sup>

The Sustainability Strategy provides a framework for the implementation of this principle as it relates to development form and the establishment of an Integrated Community Sustainability Plan (ISCP) for the conservation of water, air quality, energy, natural heritage and other resources, as well as waste reduction, transportation and environmental monitoring and education. Related policies for cultural heritage conservation are found in Section 1.4 of this Plan.

### **1.6.2 Development Form**

The Township will encourage, in accordance with the policies of this Plan, and recognizing that the community is primarily a rural area, development based on the principle of sustainable development, including Township facilities. The Township will work with other public agencies to encourage them to follow the same principle. In particular, the Township will encourage development designed to:

- (a) reduce the consumption of energy, land and other non-renewable resources including support for energy efficient building and opportunities for co-generation and promoting the use of innovative and sustainable practices to achieve energy efficiencies;
- (b) minimize the waste of materials, water and other limited resources;
- (c) create liveable, healthy and productive environments;
- (d) reduce greenhouse gases; and,
- (e) enhance biodiversity, ecological function, and the natural heritage system.

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<sup>1</sup> The Bruntland Commission (1983)

### **1.6.3 Integrated Community Sustainability Plan**

An ICSP is a long term plan, developed in consultation with community members that provides direction for the community to realize the sustainability objectives it has for the environmental, cultural, social and economic dimensions of its identity.

The Township, together with the Townships of Scugog and Brock, has developed an ICSP in consultation with other agencies including the Region of Durham and affected Conservation Authorities. The Plan builds on existing initiatives of the Township and is designed with specific, achievable actions which reflect the Township's financial constraints, to implement the following directions:

- (a) To enhance water conservation including, where applicable, water demand management for the efficient use of water; water recycling to maximize the reuse and recycling of water, and the use of Low Impact Development Stormwater Management (LID) approaches;
- (b) To promote the use of innovative and sustainable practices to achieve energy efficiencies such as energy conservation for all buildings and structures including Township facilities and infrastructure within the Township's financial resources, identification of opportunities for alternative energy generation and distribution, and energy demand management to reduce energy consumption;
- (c) To improve air quality protection, including the reduction in emissions from vehicular and other sources;
- (d) To reduce per capita waste generation;
- (e) To develop targets and related environmental monitoring programs;
- (f) To reflect other related initiatives such as conservation of the natural environment, protection and enhancement of the natural heritage system, community gardens, naturalization and cultural heritage preservation; and,
- (g) To ensure that environmental education is a key component of all aspects of the ICSP.

## **1.7 SANITARY LAND FILL SITES**

Worked out sand and gravel pits shall not be used for sanitary land fill operations within the Township of Uxbridge.

## **1.8 RURAL AREA - SPECIFIC SITE AND AREA POLICIES**

In addition to all other relevant policies and requirements of this Official Plan, the following special policies shall also apply to the lands described in each subsection and outlined on any related schedules.

### **1.8.1 Rural Employment Area No. 1 On Map A2 To The Durham Regional Official Plan - Part Lot 26, Concession V (Former Uxbridge Township)**

The policies of Sub-section 9B of the Durham Regional Official Plan shall apply with respect to Rural Employment Area No. 1 on Map A2 to the Durham Regional Official Plan. However, the permitted uses shall not include hotels or retail warehouses. In addition, personal service uses shall be limited to the following uses, which must be dry uses:

- i) a veterinary clinic and other similar uses which primarily provide a service to the agricultural and rural area; and,
- ii) an athletics club which requires large scale facilities which cannot be easily accommodated in the Urban Area.

Further, the following uses shall be specifically prohibited:

- i) motels;
- ii) restaurants;
- iii) banquet facilities;
- iv) personal service uses such as dry cleaner's and beauty salons;
- v) business, professional or administrative offices, with the exception of offices accessory to a permitted use;
- vi) furniture or appliance sales outlets;
- vii) garden or nursery sales and supply;
- viii) motor vehicle sales and service;
- ix) builder's supply outlet; and,
- x) retail uses.

<b>1.8.2 Part of Lot 15, Concession 7, Former Scott Township, Rural Residential Development West side of Wagner Lake South of Foster Drive</b>
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The lands located on the west side of Wagner Lake, south of Foster Drive described as Part of Lot 15, Concession 7, as outlined on Schedule 8-A, and designated “Prime Agricultural Area” and “Major Open Space Area” in the Durham Regional Official Plan shall be subject to the following policies:

- i) The lands may be used for the purposes of rural non-farm single detached residential dwellings; agriculture; flood erosion and siltation control works, and conservation, forestry, reforestation or other similar passive uses which provide for the preservation and management of the natural environment;
- ii) The lands may be divided into a maximum of four individual lots by consent; including retained lands and expansion of existing lots of record;
- iii) The minimum required lot are shall be four (4) hectares;
- iv) Development may be subject to site plan control and any main and accessory buildings shall be sited so as to minimize tree cutting/clearing and other similar impacts on natural vegetation.
- v) New main and accessory buildings shall be setback a minimum of ten (10.0) metres from the boundary of an Environmental Protection Zone. This requirement shall be incorporated into the implementing zoning by-law.
- vi) The issuance of development or buildings permits shall be conditional upon Conservation Authority approval of lot grading, including any proposed placement of fill on the lands.
- vii) The location of individual driveway entrances to the lands shall be subject to approval by the Township.
- viii) The dimensions and configuration of individual lots to be created by consent shall be conditional upon Regional Health Department satisfaction that:
  - a) adequate long-term subsurface waste disposal may be provided without contaminating on-site or adjacent potable water supplies; and,
  - b) the siting and operation of private septic systems will have no adverse impact upon Wagner Lake.

### **1.8.3 Second Residential Units in the Rural Area and Hamlets**

1.8.3.1 Second residential units create an opportunity for affordable housing in the Township. Therefore the following shall be permitted in the Rural Area and in areas designated “Hamlet” on Schedule ‘A’ – Map ‘A2’ of the Durham Regional Official Plan provided such units are developed in accordance with requirements as set out in Section 1.8.3.2:

- a) The use of two residential units in a detached house, semi-detached house or rowhouse if no building or structure ancillary or accessory to the detached house, semi-detached house or rowhouse contains a residential unit; and,
- b) The use of a residential unit in a building or structure ancillary or accessory to a detached house or semi-detached house if the detached house or semi-detached house contains a single residential unit subject to a zoning by-law amendment.

1.8.3.2 A second or accessory residential unit shall be permitted in accordance with the provisions of Section 1.8.3.1 subject to, but not limited to, the following requirements:

- a) Applicable Fire Codes are met;
- b) Applicable Building Code, Zoning By-Law and other By-law regulations are met, and, in particular, an accessory residential unit shall not be permitted in any area identified as a natural hazard area by the Township, in consultation with the applicable Conservation Authority, including lands subject to flooding and erosion;
- c) Adequate sewage and water capacity are provided to support the additional accessory residential unit and satisfy applicable health regulations;
- d) Appropriate parking is provided; and,
- e) The dwelling containing the accessory residential unit shall be registered with the Township.

In addition, the development of an accessory residential unit may be subject to site plan control. In particular, where the creation of the accessory residential unit includes an addition to the existing house or a location in an ancillary or accessory building, site plan control shall generally be applied and shall ensure that the addition is in keeping with the character of the existing dwelling and surrounding area.

1.8.3.3 In addition to the provisions of Section 1.8.3.2, an application for rezoning to

permit a second unit in a building or structure ancillary or accessory to a detached house, semi-detached house or rowhouse shall also satisfy the following requirements:

- a) A location on the lot which does not provide for potential severance;
- b) A building size which is clearly ancillary and accessory to the main residential unit and adjacent residential units and which will generally not exceed 93 square metres and in most circumstances shall be encouraged to be less than 93 square metres;
- c) Appropriate buffering from neighbouring uses; and,
- d) A design which is accessible for the disable and to allow aging in place.

#### **1.8.4 Rural Employment Area Conversions**

In order to achieve the employment forecasts established for the Township, and to provide land for an appropriate mix and range of employment uses, applications for the conversion of lands in any Rural Employment Area designation to non-employment uses, shall only be permitted through a Regional and/or Township municipal comprehensive review where it has been demonstrated that:

- a) there is a need for the conversion;
- b) the Township will meet the employment forecasts allocated to the Township pursuant to the Durham Regional Official Plan;
- c) the conversion will not adversely affect the overall viability of the employment area, and achievement of the intensification target, density targets, and other policies of this Plan and the Durham Regional Official Plan;
- d) there is existing or planned infrastructure to accommodate the proposed conversion;
- e) the lands are not required over the long term for the employment purposes for which they are designated; and,
- f) any cross-jurisdictional issues have been considered.

For the purposes of this policy, major retail uses are considered non-employment uses.

In accordance with the Planning Act, there is no appeal with respect to a decision of Township Council to refuse, or fail to adopt, any official plan or zoning by-law amendment application that proposes to remove any land from the Employment Area designation.

### **1.8.5 Secondary Agricultural Uses**

Home industries, home occupations/home businesses, and bed and breakfast and farm vacation uses are permitted subject to any relevant policies of the Durham Regional Official Plan, this Plan and the regulations of the zoning by-law. Additional secondary agricultural uses that produce value-added agricultural products from the farm operation property and which may also utilize agricultural or other products from other farm operations, farm-gate sales and retail stands for the sale of agricultural products from the farm on which the stand is situated, which may also sell products from other farm operations, and agri-tourism uses such as farm tours may also be permitted provided that they are:

- a) directly related to or exclusively devoted to the farm operation and do not alter the principal use of the property for agriculture;
- b) generally limited to one for each farm operation and small scale in nature; and,
- c) operated and located in a manner which is compatible with surrounding farming operations.

Such uses shall be permitted subject to any relevant policies of the Durham Regional Official Plan and this Plan, and a zoning by-law amendment. However, consents for such uses are prohibited.

### **1.8.6 Community Gardens**

Community gardens help to support people who could not otherwise afford the time, effort and land, and may not possess the skills or experience to maintain gardens on their own property. The Township supports the creation of community gardens which contribute to community food security. Community gardens shall be permitted in any area of the Township where agriculture operations are permitted, provided they are outside of key natural heritage and hydrological features and related vegetative protection zones and any area which may have soil contamination. They shall also be permitted in the hamlets and in the Uxbridge Urban Area.

### **1.8.7 Hamlets**

The five hamlets in the Township designated in the Durham Regional Official Plan outside the Oak Ridges Moraine are Udora, Zephyr, Leaskdale, Sandy Hook and Sandford. Development in these hamlets shall be permitted in accordance with the policies of the Greenbelt Plan and the Durham Regional Official Plan. In addition, the regulations of the Township Zoning By-law shall be taken into consideration. Minor rounding-out of the boundary of each hamlet shall only be permitted once in accordance with the provisions of the Greenbelt Plan and the Durham Regional Official Plan. The following shall be considered in determining the final size of the hamlet and the

establishment of the hamlet boundary:

- a) the environmental sensitivity of the lands;
- b) the size of the hamlet, including portions within adjacent municipalities;
- c) the impact on the character of the hamlet;
- d) the potential to develop the hamlet in depth by utilizing a grid system of roads;
- e) the impact on the adjacent agricultural activities; and,
- f) the recommendations of a recent hydrogeological report addressing the current conditions and the potential impact of additional development on the available water supply in terms of quantity, quality and sustainable yield, which may include the drilling of a test well or wells if required by the Region, and the potential impact of potential private sewage disposal systems on the groundwater supply in terms of bacterial and chemical parameters, as determined by the Region and the Ministry of Environment.

Once the boundary of the respective hamlets is finalized, the Hamlet plan shall be incorporated into the Township Official Plan by amendment.

## **1.9 OAK RIDGES MORaine CONSERVATION PLAN AREA**

In addition to the policies of the Durham Regional Official Plan with respect to lands in the Oak Ridges Moraine Conservation Plan Area as designated on Schedule “H” to this Plan, the following policies shall apply to lands in the Moraine outside the Uxbridge Urban Area Secondary Plan, the Hamlet of Goodwood Secondary Plan and the Hamlet of Coppins Corners and Area Secondary Plan, with the exception that the Wellhead Protection policies in Section 1.9.6 shall also apply in the Uxbridge Urban Area:

### **1.9.1 The Oak Ridges Moraine Conservation Plan**

The Oak Ridges Moraine has a unique concentration of environmental, geological and hydrological features that make its ecosystem vital to south-central Ontario.

The Oak Ridges Moraine Conservation Plan, 2001 (Moraine Plan) was established by Ontario Regulation 140/02 in April 2002 by the Province of Ontario – deemed to come into effect on November 16, 2001 - as an ecologically based plan to provide land use and resource management direction to protect the Moraine’s ecological and hydrological features and functions. The Township’s planning decisions within the Oak Ridges Moraine Conservation Plan Area must conform with the policies of this Plan, the Durham Regional Official Plan and the Moraine Plan. This Official Plan has been amended to conform with the Moraine Plan.

### **1.9.2 Moraine Plan Objectives**

Planning decisions in the Oak Ridges Moraine Conservation Plan Area shall reflect the objectives of the Moraine Plan which are found in the Oak Ridges Moraine Conservation Act, 2001.

### **1.9.3 Oak Ridges Moraine Planning Framework**

Schedule “H”, and Schedule “A”, outside the Uxbridge Urban Area boundary, designate the lands within the Moraine in the following designations, for which policies are found in Section 1.9.4, Land Use Strategy:

- i) Natural Core Area;
- ii) Natural Linkage Area;
- iii) Countryside Area; and,

- iv) Hamlet Areas, Goodwood Secondary Plan Area, and Coppins Corners Secondary Plan Area.

Other specific policies are found in Sections 1.9.5 through 1.9.9.

A complete copy of the Oak Ridges Moraine Conservation Plan should be reviewed before any determination is made with respect to an interpretation of the policies for Oak Ridges Moraine Conservation Plan Area.

Where there is a conflict between the policies of this Plan and the policies of the Moraine Plan, the policies of the Moraine Plan shall take precedence.

## **1.9.4 Land Use Policies**

### **1.9.4.1 Natural Core Area**

#### **i) Purpose**

The Natural Core Area designation on Schedules “A” and “H” recognizes areas identified in the Moraine Plan with a high concentration of key natural heritage features, hydrologically sensitive features or landform conservation areas.

The purpose of the designation of these areas is to maintain, and where possible improve or restore, the ecological integrity of the Moraine Area.

#### **ii) Permitted Uses**

The following uses are permitted in the Natural Core Area designation subject to all the other policies of Section 1.9 of this Plan and the applicable regulations of the Zoning By-law:

- a) Fish, wildlife and forest management;
- b) Conservation projects and flood and erosion control projects;
- c) Agricultural uses;
- d) Transportation, infrastructure and utilities in accordance with the provisions of Section 1.9.9.8 of this Plan;
- e) Home occupations/home businesses;
- f) Home industries;
- g) Bed and breakfast establishments;
- h) Farm vacation homes;
- i) Low intensity recreational uses in accordance with the provisions of Section 1.9.9.7 of this Plan);
- j) Unserviced parks;

- k) Recreational trails in accordance with the provisions of Section 1.9.9.9 of this Plan; and,
- l) Accessory uses.

#### **1.9.4.2 Natural Linkage Area**

##### **i) Purpose**

The Natural Linkage Area designation on Schedules “A” and “H” recognizes areas identified in the Moraine Plan forming part of a central corridor system that support or have the potential to support the movement of plants and animals among the lands designated Natural Core and Linkage Area, as well as river valleys and stream corridors.

The purpose of the designation of these areas is to maintain, and where possible to improve or restore, the ecological integrity of the Moraine Area and to maintain, and where possible improve or restore, regional-scale open space linkages between lands in the Natural Core Area designations and along river valleys and stream corridors.

##### **ii) Permitted Uses**

The following uses are permitted in the Natural Linkage Area designation subject to all the other policies of Section 1.9 of this Plan and the applicable regulations of the Zoning By-law:

- a) Fish, wildlife and forest management;
- b) Conservation projects and flood and erosion control projects;
- c) Agricultural uses;
- d) Transportation, infrastructure and utilities in accordance with the provisions of Section 1.9.9.8 of this Plan;
- e) Home occupations/home businesses;
- f) Home industries;
- g) Bed and breakfast establishments;
- h) Farm vacation homes;
- i) Low intensity recreational uses in accordance with the provisions of Section 1.9.9.7 of this Plan;
- j) Unserviced parks;
- k) Recreational trails in accordance with the provisions of Section 1.9.9.9 of this Plan;
- l) Mineral aggregate operations and wayside pits in accordance with the provisions of Section 1.9.9.1 of this Plan; and,
- m) Accessory uses.

Notwithstanding the foregoing, an agriculture-related use, as defined in the Oak Ridges Moraine Conservation Plan, comprised of a grain milling, blending and storage facility, including accessory sales of finished products, serving farm operations and farm suppliers and similar uses shall be permitted on the lands located in Part of Lot 12, Concession 1, 3469 York Durham Townline, Township of Uxbridge.

#### **1.9.4.3 Countryside Area**

##### **i) Purpose**

The Countryside Area designation on Schedules “A” and “H” recognizes areas identified in the Moraine Plan as areas of rural land use such as agriculture, recreation, hamlets, mineral aggregate extraction operations, parks and open space. Hamlets are generally long-established and identified in the Durham Regional Official Plan. They are also shown on the land use designation plan to the Moraine Plan.

The purpose of the Countryside Area designation is to encourage agriculture and other rural uses that support the Plan’s objectives by:

- a) protecting prime agricultural areas;
- b) providing for the continuation of agricultural and other rural land uses and normal farm practices; and,
- c) maintaining the rural character of Hamlets.

##### **ii) Permitted Uses**

The following uses are permitted in the Countryside Area designation subject to all the other policies of Section 1.9 of this Plan and the applicable regulations of the Zoning By-law:

- a) Fish, wildlife and forest management;
- b) Conservation projects and flood and erosion control projects;
- c) Agricultural use;
- d) Transportation, infrastructure and utilities in accordance with the provisions of Section 1.9.9.8 of this Plan;
- e) Home occupations/home businesses;
- f) Home industries;
- g) Bed and breakfast establishments;
- h) Farm vacation homes;
- i) Low intensity recreational uses in accordance with the provisions of Section 1.9.9.7 of this Plan;
- j) Unserviced parks;

- k) Recreational trails in accordance with the provisions of Section 1.9.9.9 of this Plan;
- l) Mineral aggregate operations and wayside pits in accordance with the provisions of Section 1.9.9.1 of this Plan;
- m) Agriculture-related uses;
- n) Major Recreational uses in accordance with the provisions of Section 1.9.9.2 of this Plan;
- o) Small scale commercial, industrial and institutional uses in accordance with the provisions of Section 1.9.4.3 iii) of this Plan; and,
- p) Accessory uses.

**iii) Small scale commercial, industrial and institutional uses**

Small-scale commercial, industrial and institutional uses shall be permitted subject to the provisions of Section 13(5) and Section 40 of the Moraine Plan, as well as to the policies and schedules of the Durham Regional Official Plan and this Plan, provided that such uses are not located in Prime Agriculture areas as designated on Schedule “B” – Map ‘B3”, Oak Ridges Moraine Land Use, to the Durham Regional Official Plan. In addition, such uses shall be:

- a) encouraged to locate in the Hamlet Areas or Uxbridge Urban Area and shall only be permitted to locate outside such areas where the Township is satisfied that there is no appropriate location within the settlement areas, and/or the uses are accessory or ancillary to mineral aggregate extraction or the uses are not appropriately located within the settlement areas or the rural industrial areas of the Township such as small-scale landscape industry uses, which consist of businesses associated with horticulture;
- b) located so that they do not contribute to the creation of strip development and, in particular, will generally not be permitted to locate along Regional Roads unless they can be integrated with existing development, including shared driveways and parking where feasible;
- c) shall be generally supportive of, complementary to or essential to uses that are permitted in Countryside Areas; and,
- d) shall not require large-scale modification of terrain, vegetation or both or large-scale buildings and structures.

Further, an application for a small-scale commercial, industrial or institutional use with respect to land in a Countryside Area shall not be approved unless the applicant demonstrates that the buildings and structures will be planned, designed and constructed so as not to adversely affect the rural character of the Countryside Area, and the ecological integrity of the Moraine.

Notwithstanding the foregoing, existing industrial uses and approved industrial subdivisions designated on Schedule “H” as “Policy Area 1.9.4.3 iii) Industrial” may continue to be zoned to permit industrial development, however, any new development on these sites shall be subject to site plan control to ensure that future development brings the use into closer conformity with the Moraine Plan.

#### **iv) Lands Used for Farming**

Lands in the Countryside Area designation used for farming, or which have been used for farming in the previous five years, shall be protected for agriculture, and only uses which are supportive of agriculture shall be permitted. In particular, low intensity recreation uses including golf driving ranges shall not be permitted.

#### **1.9.4.4 Hamlets**

The boundaries for the Hamlets of Goodwood, Coppin’s Corners, Siloam and Glasgow are designated on Schedules, “F”, “G” and “H” of this Plan. In addition, the permitted uses within the Hamlets are subject to all the other policies of Section 1.9 of this Plan and the applicable regulations of the Zoning By-law and subject to Part IV, Section 32, Section 15, and Part III of the Oak Ridges Moraine Conservation Plan.

In addition to the above, policies for the Hamlets of Goodwood and Coppin’s Corners are found in the Secondary Plans outlined in Section 5 and Section 6 respectively of the Official Plan.

The following uses are permitted within the hamlet boundaries of Siloam and Glasgow:

- a) Minor residential infill development;
- b) Small scale commercial, industrial and institutional uses which do not require large-scale modification of terrain, vegetation or both, or large scale buildings and structures, provided that the buildings and structures are planned, designed and constructed so as to not adversely affect the rural character of, and the ecological integrity of, the Oak Ridges Moraine Conservation Plan Area;
- c) Public parks and low intensity recreational uses as described in section 1.9.9.7 of this Plan;
- d) Home occupations/home businesses and home industries;
- e) Bed and breakfast establishments;
- f) Fish, wildlife and forest management; and,
- g) Conservation projects and flood and erosion control projects

## 1.9.5 Development Review

All development and site alteration in the area within the Oak Ridges Moraine Conservation Plan Area on Schedules “A” and “H” shall be subject to the provisions of this Plan and the Moraine Plan.

The following policies and Schedules “B”, “H”, “I” “J” “K” and “L” outline some key directions of the policies in Parts III and IV of the Moraine Plan. However, they are provided for reference only. A complete copy of the Moraine Plan should be reviewed before any determination is made with respect to an interpretation of the policies for the Oak Ridges Moraine Conservation Plan Area:

- i) Table 1.2 Key Natural Heritage Features, Hydrologically Sensitive Features and Areas of Natural Scientific Interest (Earth Science) Minimum Areas of Influence and Minimum Vegetation Protection Zones.

This Table establishes the minimum area of influence and minimum vegetation protection zones which relate to key natural heritage features and hydrologically sensitive features which are referenced in the following sections.

- ii) Connectivity

Every application for development or site alteration shall identify planning, design and construction practices that ensure that no building or other site alterations impede the movement of plants and animals among key natural heritage features, hydrologically sensitive features and adjacent land within the “Natural Core Areas” and “Natural Linkage Areas” designated on Schedules “A” and “H”.

- iii) Key Natural Heritage Features

All development and site alteration will be prohibited in key natural heritage features and the related minimum vegetation protection zone, with the exception of certain limited uses specified in Section 22(2) of the Moraine Plan. An application for development or site alteration in the minimum area of influence shall be accompanied by a natural heritage evaluation in accordance with the provisions of Part III, Section 23 of the Moraine Plan. Development or site alteration may also be prohibited in the minimum area of influence based on the results of the natural heritage evaluation which may establish a greater minimum vegetation protection zone.

Key natural heritage features include wetlands; significant portions of the habitat of endangered, rare and threatened species; fish habitat including

watercourses and water bodies; areas of natural and scientific interest (ANSI) (life science); environmentally significant areas (ESA); significant valleylands; significant woodlands; significant wildlife habitat and sand barrens, savannahs and tallgrass prairies. These, together with the minimum vegetation protection zone, are identified on Schedules “B” and “I” to this Plan with the exception of significant valleylands, significant wildlife habitat and the habitat of endangered, rare and threatened species. These features are to be identified using criteria established by the Province. Fish habitat on the Oak Ridges Moraine will include, but not be limited to, all hydrologically sensitive features with surface water characteristics.

Schedules “B” and “I” are based on mapping provided by the Province of Ontario. No amendment will be required to the Schedule where minor changes are proposed based on studies carried out in accordance with the provisions of the Moraine Plan or through new information provided by the Province of Ontario.

Notwithstanding the foregoing, any change to Schedules “B” and “I” which affects the boundary of an area of natural and scientific interest (life science), provincially significant wetlands, habitat of endangered, rare and threatened species or fish habitat will only be made after confirmation by the Province of Ontario and, in the case of fish habitat, by the Department of Fisheries and Oceans or its delegate. In addition, where any changes are made to features, the revised mapping will be circulated to the Province, the Region and the applicable Conservation Authority.

iv) Hydrologically Sensitive Features

All development and site alteration will be prohibited within hydrologically sensitive features and the related minimum vegetation protection zone with the exception of the list of uses specified in Section 26(2) of the Moraine Plan. An application for development or site alteration in the minimum area of influence shall be accompanied by a hydrological evaluation in accordance with Section 26(3) of the Moraine Plan. Development or site alteration may also be prohibited in the minimum area of influence based on the results of the natural heritage evaluation which may establish a greater minimum vegetation protection zone.

Hydrologically sensitive features include permanent and intermittent streams, wetlands, kettle lakes and seepage areas and springs. These, together with the minimum vegetation protection zone, are identified on Schedules “B” and “I” to this Plan with the exception of seepage areas and springs. These features are to be identified using criteria established by the Province.

Schedules “B” and “I” are based on mapping provided by the Province of Ontario. No amendment will be required to the Schedule where minor changes are proposed which involve scale of mapping issues based on studies carried out in accordance with the provisions of the Moraine Plan or through new information provided by the Province of Ontario.

Notwithstanding the foregoing, any change to Schedules “B” and “I” which affects the boundary of provincially significant wetlands will only be made after confirmation by Province of Ontario and in the case of fish habitat, by the Department of Fisheries and Oceans or its delegate. In addition, where any changes are made to features, the revised mapping will be circulated to the Province, the Region and the applicable Conservation Authority.

v) Areas of High Aquifer Vulnerability

The following uses, with the exception of existing uses permitted by Section 6(1) of the Moraine Plan will be prohibited in Areas of High Aquifer Vulnerability identified on Schedules “B1” and “J” to this Plan:

- a) Generation and storage of hazardous waste or liquid industrial waste;
- b) Waste disposal sites and facilities, organic soil conditioning sites and snow storage and disposal facilities;
- c) Underground and above-ground storage tanks that are not equipped with an approved secondary containment device; and,
- d) Storage of a contaminant listed in Schedule 3 (Severely Toxic Contaminants) to Regulation 347 of the Revised Regulations of Ontario, 1990.

In addition the Township shall encourage restrictions on haulage routes for the transportation of chemicals and volatile materials in such areas. Existing land uses considered to be a high risk to groundwater that are located in areas of High Aquifer Vulnerability are encouraged to implement best management practices.

Schedules “B1” and “J” are based on mapping provided by the Province of Ontario and for greater accuracy reference should be made to “Reference Map for Ontario Regulation 140/02 (Moraine Plan) made under the Oak Ridges Moraine Conservation Act, 2001 dated March 2002.

vi) Landform Conservation Areas

An application for development or site alteration in any area identified as a Landform Conservation Area Category 1 or 2 on Schedules “B2” and “K” to this Plan shall identify planning, design and construction practices in conformity with the policies for the applicable Landform Conservation Area Category that will keep disturbance of landform character to a minimum in accordance with the provisions of Section 30 of the Moraine Plan. With the exception that Sections 30(5), (6) and (10) of the Moraine Plan do not apply to mineral aggregate operations.

In addition, an application for development or site alteration with respect to land in an area of natural and scientific interest (earth science) or the related minimum area of influence (See Table 1.2) shall be accompanied by an earth science heritage evaluation that:

- a) identifies planning, design and construction practices that will ensure protection of the geological or geomorphological attributes for which the area of natural and scientific interest was identified; and,
- b) determines whether a minimum vegetation protection zone is required, and if so, specifies the dimensions of that zone and provides for the maintenance and, where possible, improvement or restoration of natural self-sustaining vegetation within it.

An application for development or site alteration with respect to land in a landform conservation area (Category 1) shall,

- a) maintain significant landform features such as steep slopes, kames, kettles, ravines and ridges in their natural undisturbed form;
- b) limit the portion of the net developable area of the site that is disturbed to not more than 25 per cent of the total area of the site; and
- c) limit the portion of the net developable area of the site that has impervious surfaces to not more than 15 per cent of the total area of the site.

An application for development or site alteration with respect to land in a landform conservation area (Category 2) shall,

- a) maintain significant landform features such as steep slopes, kames, kettles, ravines and ridges in their natural undisturbed form;
- b) limit the portion of the net developable area of the site that is

disturbed to not more than 50 per cent of the total area of the site;  
and

- c) limit the portion of the net developable area of the site that has impervious surfaces to not more than 20 per cent of the total area of the site.

vii) Major Development

Notwithstanding any other provisions of this Plan, in the Oak Ridges Moraine Conservation Plan Area, major development as defined by the Moraine Plan is subject to a number of requirements in addition to those for other development. These include additional requirements with respect to landform conservation (Section 30(8) of the Moraine Plan); stormwater management (Section 45) and sewage and water services (Section 43).

In addition, an application commenced prior to April 23, 2007 shall be subject to the provisions of Section 24(8) of the Moraine Plan, while new major development is prohibited after April 23, 2007 in accordance with the provisions of Section 24(4) of the Moraine Plan unless:

- a) the watershed plan as described in section 1.9.9.5 of this Plan, for the relevant watershed has been completed;
- b) the major development conforms to the watershed plan; and,
- c) a water budget and conservation plan, as described in, and prepared in accordance with, Section 25 of the Moraine Plan and demonstrating that the water supply required for the major development is sustainable, has been completed.

**TABLE 1.2<sup>1</sup>**  
**KEY NATURAL HERITAGE FEATURES,**  
**HYDROLOGICALLY SENSITIVE FEATURES AND**  
**AREAS OF NATURAL AND SCIENTIFIC INTEREST (EARTH SCIENCE)**  
**MINIMUM AREAS OF INFLUENCE**  
**AND MINIMUM VEGETATION PROTECTION ZONES**

Column 1	Column 2	Column 3	Column 4
Item	Feature	Minimum Area of Influence (21)	Minimum Vegetation protection zone (21,23,26 (4), 30 (12))
1	Wetlands	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
2	Significant portions of habitat of endangered, rare and threatened species	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
3	Fish habitat	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
4	Areas of natural and scientific interest (life science)	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
5	Areas of natural and scientific interest (earth science)	All land within 50 metres of any part of feature	As determined by an earth science heritage evaluation carried out under subsection 30(12).
6	Significant valleylands	All lands within 120 metres of stable top of bank	All lands within 30 metres of stable top of bank, subject to clause 23(1)(d) if a natural heritage evaluation is required.
7	Significant woodlands	All land within 120 metres of any part of feature	All land within 30 metres of the base of outermost tree trunks within the woodland, subject to clause 23(1)(d) if a natural heritage evaluation is required.
8	Significant wildlife habitat	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
9	Sand barrens, savannahs and tallgrass prairies	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
10	Kettle lakes	All land within 120 metres of the surface catchment area	All land within the surface catchment area or within 30 metres of any part of feature, whichever is greater, subject to clause 26(4)(c) if a hydrological evaluation is required.
11	Permanent and intermittent streams	All land within 120 metres of meander belt	All land within 30 metres of meander belt, subject to clause 26(4)(c) and subsection 26(5) if a hydrological evaluation is required.

<sup>1</sup>Sections referenced are found in the Oak Ridges Moraine Conservation Plan

Column 1	Column 2	Column 3	Column 4
Item	Feature	Minimum Area of Influence (21)	Minimum Vegetation protection zone (21,23,26 (4), 30 (12))
12	Seepage areas and springs	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 26(4)(c) and subsection 26(5) if a hydrological evaluation is required.

### 1.9.6 Wellhead Protection Areas

Wellhead Protection Areas are designated on Schedule “L” to this Plan. The policies in Section 1.10.2, Source Protection Plans, are applicable to the lands designated “Wellhead Protection Areas”. The policies of this plan shall be read in conjunction with the Durham Regional Official Plan, including but not limited to the prohibitions and limitations set out in Schedule ‘E’ – Tables ‘E5’ and ‘E6’. Land uses and activities which pose a risk to the quality and quantity of groundwater in the Wellhead Protection Areas may be prohibited or restricted in accordance with the *Clean Water Act* and/or the applicable Source Protection Plan. In the case of conflict between the Wellhead Protection Area policies of this Plan, the Oak Ridges Moraine Conservation Plan, the applicable Source Protection Plan, and the Durham Regional Official Plan, the most restrictive shall apply. Land uses which pose a risk to the quality and quantity of groundwater in the wellhead protection areas are prohibited or restricted in accordance with Schedule ‘E’ – Tables ‘E5’ and ‘E6’ in the Durham Regional Official Plan and the policies of Section 2.3.25 to 2.3.28 inclusive of the Durham Regional Official Plan.

Owners and operators of existing land uses and activities that are prohibited or restricted within Wellhead Protection Areas designations on the Oak Ridges Moraine are encouraged to submit and implement site management and contingency plans that will protect water resources, both quality and quantity, within the Wellhead Protection Area designation.

Where development within a WHPA-Q1 Area will result in the taking of more than 50,000 litres per day, approval from the Ministry of the Environment and Climate Change (MOECC) will be required.

Within a WHPA –Q2 Area, a Water Balance Study, or similar study, may be required, to the satisfaction of the Township, in accordance with the applicable Source Protection Plan and in consultation with the applicable Conservation Authority, in order to demonstrate that pre-development recharge rates will be maintained.

### **1.9.7 Development Control**

All new development shall conform with the provisions of the Moraine Plan, in accordance with the provisions of the Planning Act, the Durham Regional Official Plan and this Plan with respect to lands in the Oak Ridges Moraine Conservation Plan Area as designated on Schedules “A” and “H” to this Plan. Prior to passing a zoning by-law to change any use, the Township shall ensure that:

- i) All studies required to comply with the policies of the Oak Ridges Moraine Conservation Plan, the Durham Regional Official Plan and the Township of Uxbridge Official Plan have been prepared and the recommendations have been incorporated into a Site Plan and a comprehensive Site Plan Development Agreement approved in accordance with the provisions of the Planning Act and registered on the title of the lands and financially secured; and,
- ii) All necessary approvals have been received from the applicable Conservation Authority, and any conditions of the Authority have been appropriately incorporated into the Site Plan Development Agreement and financially secured, all to the satisfaction of the Authority and so confirmed in writing to the Township.

### **1.9.8 Existing Uses, Buildings and Structures and Other Authorized Uses, Buildings and Structures**

Notwithstanding any other policies of this Plan, including the policies of any secondary plan, uses, buildings and structures, existing prior to November 15, 2001, and other authorized uses, buildings and structures permitted in accordance with Sections 6, 7, 8 and 9 of the Moraine Plan are permitted to continue within the Oak Ridges Moraine Conservation Plan Area where existing. Changes to existing uses and any new development, where permitted in accordance with Sections 6,7, 8 and 9 of the Moraine Plan, shall conform with the policies in Part I Sections 6, 7, 8 and 9 of the Moraine Plan. Notwithstanding the foregoing:

- i) expansions to existing buildings and structures that legally existed as of November 15, 2005 may be permitted without amendment to the Zoning By-law, provided that the addition does not intrude into any area identified as Areas of Natural or Scientific Interest, Kettle Lakes, Wetlands, Woodlands, Streams or Minimum Vegetation Protection Zone on Schedules “B” and “I” or conflict with any of the policies that apply to the areas identified on Schedules “B2” and “K” (Landform Conservation Areas), Schedules “B1” and “J” (Aquifer Vulnerability Areas) and the expansion complies with all the other applicable policies of this Plan and the regulations of the Zoning By-law;

- ii) once expanded, the use of the building or structure shall be the same as the use of the building or structure on November 15, 2001 or closer in conformity with this Plan;
- iii) new accessory uses, buildings and structures, including swimming pools, related to existing single detached dwellings may be permitted in accordance with the regulations of the Zoning By-law and provided that the use, building or structure does not intrude into any area identified as Areas of Natural or Scientific Interest, Kettle Lakes, Wetlands, Woodlands, Streams or Minimum Vegetation Protection Zone on Schedules "B" and "I"; and,
- iv) Expansion, maintenance and/or replacement of existing infrastructure is permitted subject to the infrastructure policies of Part IV of the Moraine Plan.

### **1.9.9 Additional Policies within the Oak Ridges Moraine Conservation Plan Area**

In the Oak Ridges Moraine Conservation Plan Area, including but not limited to the Settlement and Rural Settlement areas, the policies of Section 1.9.5 Development Review and 1.9.6 Wellhead Protection Areas of this Plan apply in addition to all the policies of Part IV of the Moraine Plan including the policies related to lot creation, low intensity recreational uses, transportation, infrastructure and utilities, sewage and water services, stormwater management and rapid infiltration basins and columns. In addition the following policies apply:

#### **1.9.9.1 Oak Ridges Moraine Mineral Aggregate Extraction**

Existing Mineral Aggregate operations in the Natural Linkage and Countryside Area designations of the Oak Ridges Moraine Conservation Plan Area which have been approved through a Regional Official Plan amendment are designated as "Policy Area 1.9.9.1 Approved Mineral Aggregate Extraction Area" on Schedule "H" and may be zoned to recognize the use as approved in accordance with the Durham Regional Official Plan and the related license or permit. Expansions of existing operations and new operations in the Oak Ridges Moraine Conservation Plan Area shall conform with the provisions of the Moraine Plan, particularly section 35, and the Durham Regional Official Plan and shall require an amendment to the Durham Regional Official Plan, this Plan and a zoning by-law amendment with the exception of a wayside pit or quarry.

A wayside pit or quarry used by or for a public authority, shall be permitted for a temporary period, in accordance with the Aggregate Resources Act, without

requiring an amendment to the Durham Regional Official Plan, this Plan and the Zoning By-law except as follows:

- i) an amendment to the Durham Regional Official Plan, this Plan and the Zoning By-law shall be required for wayside pits and quarries in proximity to key natural heritage or hydrologic features identified on Schedules “B” and “I” to this Plan; and,
- ii) a Zoning By-law amendment shall be required to permit a wayside pit and quarry in the Uxbridge Urban Area as designated on Schedule “A” and any Hamlet Area as designated on Schedule “H”.

The Township and the mineral aggregate industry shall work together to develop and implement comprehensive rehabilitation plans for parts of the Oak Ridges Moraine Conservation Area that are affected by mineral aggregate operations.”

### **1.9.9.2 Major Recreational Uses**

Existing Major Recreational uses in the Countryside Area designation of the Oak Ridges Moraine Conservation Plan Area which have been approved through a Regional Official Plan amendment are designated as “Policy Area 1.9.9.2 Approved Major Recreational Use” on Schedules “A” and “H” and may be zoned to recognize the use as approved in accordance with the Durham Regional Official Plan. Expansions of existing uses, and new uses in the Countryside Area designation of the Oak Ridges Moraine Conservation Plan Area shall conform with the provisions of the Moraine Plan, particularly section 38, and the Durham Regional Official Plan and shall require an amendment to the Durham Regional Official Plan, this Plan and a zoning by-law amendment. Further, such uses shall not be permitted in Prime Agriculture areas as designated on Schedule “B” – Map ‘B3’, Oak Ridges Moraine Land Use, to the Durham Regional Official Plan.

### **1.9.9.3 Monitoring the Oak Ridges Moraine Conservation Area**

The Township will undertake, to the extent permitted by its financial resources as determined by the Municipality, in partnership with the Province, the Region and other stakeholders:

- i) the development and administration of effective and accessible data management systems for natural heritage and hydrological information; and,
- ii) the development of programs to monitor the long-term health of the Oak Ridges Moraine and assist in public education.

#### **1.9.9.4 Site Alteration and Tree Cutting By-laws**

The Township shall adopt site alteration and tree by-laws in conformity with Sections 135 and 142 of the Municipal Act, in accordance with the provisions of the Oak Ridges Moraine Conservation Act, 2001.

#### **1.9.9.5 Watershed Plans**

Watershed plans are comprehensive management strategies that seek to understand the interconnection between terrestrial and aquatic components of the natural system. In addition to achieving a better understanding of the overall ecosystem function, watershed plans support change through an ecosystem-based approach to land-use planning. These plans assist in the management of land/water interactions and land use planning decisions and recommend how water resources are to be protected and enhanced in relation to changing land uses.

The Township will, to the extent permitted by its financial resources as determined by the Municipality:

- i) work with the Region of Durham and the Conservation Authority to complete and implement watershed plans, including water budgets and water conservation plans to meet the requirements of the Moraine Plan;
- ii) incorporate by official plan amendment, the applicable objectives and requirements of a completed watershed plan applicable to the Moraine Plan into the Official Plan; and,
- iii) prohibit approval of major development on the Oak Ridges Moraine after April 23, 2007, except where otherwise permitted by this Plan, unless the relevant requirements of section 24 of the Oak Ridges Moraine Conservation Plan have been satisfied.

#### **1.9.9.6 Lot Creation**

- i) Within the Oak Ridges Moraine Conservation Plan Area a lot may be created only in the following circumstances, and subject to section 15 of the Moraine Plan, subsections i), ii), iii), iv), v) and vi) of this section, and the policies contained in Section 1.9 of this Plan:
  - a) Severance, from a rural lot, of a lot for a residence surplus to a farming operation. The maximum permitted is a cumulative total of one such severance for each rural lot. All consents granted on or after January 1, 1994 are included in the calculation of the cumulative total.

- b) Severance from each other of two or more rural lots that have merged in title where the resultant lots conform to the policies of this Plan and the Durham Regional Official Plan. The severance shall follow the original lot lines or original half lot lines.
  - c) Allowing land acquisition for transportation, infrastructure, and utilities as described in section 41 of the Moraine Plan, but only if the need for the project has been demonstrated and there is no reasonable alternative.
  - d) The addition of adjacent land to an existing lot, but only if the adjustment does not result in the creation of a lot that is undersized for the purpose for which it is being or may be used.
  - e) Facilitating conveyances to public bodies or non-profit entities for natural heritage conservation.
  - f) Severance from each other of parts of a lot that are devoted to different uses, but only if the uses are legally established at the time of the application for severance.
- ii) Subsection i) applies whether the transaction takes the form of a conveyance, a lease for twenty-one years or more, or a mortgage.
  - iii) A lot may be created only if there is enough net developable area on both the severed lot and the remainder lot to accommodate proposed uses, buildings and structures and accessory uses without encroachment on key natural heritage features or hydrologically sensitive features.
  - iv) When a lot is created, the municipality shall enter into a site plan agreement or other agreement with the applicant to establish conditions requiring that natural self-sustaining vegetation be maintained or restored in order to ensure the long-term protection of any key natural heritage features and hydrologically sensitive features on the lot.
  - v) A lot shall not be created if this would extend or promote strip development.
  - vi) Definitions

"original half lot" means half of an original lot that contained 80.9 hectares (200 acres), more or less;

"original lot" means a township lot shown on a plan certified by the Surveyor General of Ontario as being the original plan of an original survey;

"residence surplus to a farming operation" means,

- a) if there are two or more farm residences, both built before 1978, on a lot that is being used in a farming operation, one of those residences that is surplus to the farming operation, or
- b) if the owner and operator of a farming operation acquires an additional lot and uses it in the consolidated farming operation, any existing farm residence that is surplus to the consolidated farming operation;

"rural lot" means a lot that is at least 97.5 per cent of the land that is left in an original lot or an original half lot after the deduction of any land that is,

- a) conveyed at any time for transportation, utilities and infrastructure as described in section 41 of the Moraine Plan, whether before, on or after November 16, 2001, or
- b) validly conveyed before June 27, 1970.

#### **1.9.9.7 Low Intensity Recreational Uses**

Low-intensity recreational uses shall be permitted in all designations in the Oak Ridges Moraine Plan Area subject to the applicable provisions of section 37 of the Moraine Plan.

#### **1.9.9.8 Transportation, Infrastructure and Utilities**

Transportation, infrastructure and utilities are to be prohibited in all land use designations on Schedule "A" which apply to areas within the Oak Ridges Moraine Conservation Plan and Schedule "H" and in any key natural heritage features and hydrologically sensitive features on Schedules "B" and "I" unless the requirements of section 41 of the Oak Ridges Moraine Conservation Plan have been addressed to the satisfaction of the applicable approval authority, such as the Region of Durham or the Township of Uxbridge.

The Township shall ensure that the section 41 of the Moraine Plan requirements, including the determination of need and no reasonable alternatives, are met through Environmental Assessment Act, Planning Act, Condominium Act, and Local Improvement Act approval processes or other applicable approval processes.

#### **1.9.9.9 Recreational Trails**

A recreational trail system is to be established throughout the entire area which is the subject of the Moraine Plan. Where this trail is located in the Township of Uxbridge, it may be permitted in any part of the Township subject to the provisions of section 39 of the Moraine Plan. Further, the Township shall encourage the linkage of any trails in the Township to the Oak Ridges Moraine trail system.

## 1.10 PROTECTION PLANS

### 1.10.1 Lake Simcoe Protection Plan

The Lake Simcoe Protection Plan is applicable to the lands within the Lake Simcoe watershed in the Township. The Plan is designed to protect and restore the ecological health of the Lake Simcoe watershed. The Township in making decisions under the Planning Act or the Condominium Act, 1998 is required to conform with the applicable designated policies in the Plan and have regard to other applicable policies.

### 1.10.2 Source Protection Plans

#### 1.10.2.1 Source Protection Plan Conformity

The *Clean Water Act, 2006* was enacted to protect existing and future sources of municipal drinking water. It requires the development and implementation of Source Protection Plans for Source Protection Areas throughout Ontario. It also requires the Province, Conservation Authorities and municipalities to develop and implement policies to manage the reduction and/or elimination of threats to sources of municipal drinking water. The policies of this Plan have been amended to conform with the applicable Source Protection Plans.

All planning applications shall be reviewed in conformity with this Plan, the applicable Durham Regional Official Plan policies and the applicable Source Protection Plans for the South Georgian Bay Lake Simcoe Source Protection Region (SGBLS), Credit Valley Toronto and Region and Central Lake Ontario Source Protection Region (CTC), and Trent Conservation Coalition Source Protection Region (TCC), to ensure proposed development will not pose a risk to existing and future municipal water sources.

As required by the *Clean Water Act, 2006*, any decision made by the Township under the *Planning Act, Condominium Act, 1998*, or *Building Code Act* shall conform with significant threat policies set out in the applicable Source Protection Plan and have regard to other policies set out in the applicable Source Protection Plan.

Vulnerable areas within the Township include:

- Wellhead Protection Areas (WHPA);
- Significant Groundwater Recharge Areas;

- Intake Protection Zone 3 (IPZ-3s); and,
- High Aquifer Vulnerability Areas.

The following policies apply only to those vulnerable areas in the Township of Uxbridge that are identified in the applicable Source Protection Plans and are shown on Schedule L and Appendix D.

In addition, Highly Vulnerable Aquifers (HVA) are identified in Appendix D. Policies appropriate for such areas in Uxbridge will be added to the Plan through amendment.

### **1.10.2.2 Groundwater and Surface Water Protection**

The Township will work in partnership with the Province, Region of Durham and the Conservation Authorities, to minimize and prevent negative impacts on groundwater and surface waters from existing and/or proposed incompatible land uses and activities.

### **1.10.2.3 Municipal Wellhead Protection Areas: General**

The Source Protection Plans identify threats to the quality and quantity of municipal drinking water sources and their associated designated vulnerable areas. These designated vulnerable areas include wellhead protection areas, areas of highly vulnerable aquifers, intake protection zones and significant groundwater recharge areas as well as issues contributing areas and event-based areas. Within these areas, land use activities that include a significant drinking water threat may be restricted or prohibited as outlined in the applicable Source Protection Plan(s).

Wellhead Protection Areas (WHPA) are the area around a municipal drinking water well that may be vulnerable to threats in accordance with the following:

- a) For water quality threats, the size and delineation of the WHPAs are determined by how quickly water travels underground to the well, measured in years, as outlined below:
  - WHPA-A: 100 m radius surrounding a well
  - WHPA-B: 0 – 2 year Time of Travel
  - WHPA-C: 2 – 5 year Time of Travel
  - WHPA-D: 5 –25 year Time of Travel
- b) For water quantity threats, the delineation of the WHPA is based on a tiered water budget analysis that determines locations where there may be a moderate or significant threat to water quantity. These areas are

classified as:

- i. WHPA-Q1: An area where activities that take water without returning it to the same aquifer may be a threat.
- ii. WHPA-Q2: An area where activities that reduce recharge may be a threat.

Policies for WHPA-Q1/Q2 have been identified and are addressed in Section 1.10.2.5 below.

Wellhead Protection Areas (WHPAs) are identified on Schedule “L” of this Official Plan and are intended to function as an overlay to the primary land use designations.

#### **1.10.2.4 Municipal Wellhead Protection Areas: Prohibited/Restricted Uses**

Land uses which include one or more of the following activities may be prohibited, or restricted and require a risk management plan in accordance with Section 57, 58 and 59 of the *Clean Water Act* in any WHPA A, B, C, or D identified on Schedule “L” where they are or would be a significant municipal drinking water threat as determined by the Risk Management Official (RMO):

- a) The establishment, operation, or maintenance of a waste disposal site within the meaning of Part V of the *Environmental Protection Act*;
- b) The establishment, operation or maintenance of a system that collects, stores, transmits or disposes of sewage;
- c) The application of agricultural source material to land;
- d) The storage of agricultural source material;
- e) The management of agricultural source material;
- f) The application of non-agricultural source material to land;
- g) The handling and storage of non-agricultural source material;
- h) The application of commercial fertilizer to land;
- i) The handling and storage of commercial fertilizer;
- j) The application of pesticide to land;
- k) The handling and storage of pesticide;
- l) The application of road salt;
- m) The handling and storage of road salt;
- n) The storage of snow;
- o) The handling and storage of fuel;

- p) The handling and storage of a dense non-aqueous phase liquid;
- q) The handling and storage of an organic solvent;
- r) The management of runoff that contains chemicals used in the de-icing of aircraft; and
- s) The use of land as livestock grazing or pasturing land, an outdoor confinement area, or a farm animal yard.

If the RMO or another person duly qualified under the *Clean Water Act* determines that there is no significant risk, then a land use that includes one or more of the activities listed above may be permitted without the need for an amendment to this Plan, where such land use or activity would otherwise be permitted.

Land uses which include the following activities may pose a threat to the quantity of municipal drinking water sources, and may be restricted in accordance with Section 1.10.2.5 of this Plan and the policies of the applicable Source Protection Plan.

- a) An activity that takes water from an aquifer or surface water body without returning the water taken to the same aquifer or surface water body; and,
- b) An activity that reduces the recharge of an aquifer.

#### **1.10.2.5 WHPA –Q1 /WHPA –Q2**

Areas identified as “WHPA-Q1/WHPA-Q2” on Schedule “L” of this Official Plan are intended to function as an overlay to the primary land use designations. The following policies are applicable to such areas.

- a) “WHPA-Q1” is the area where activities that take water without returning it to the same aquifer may be a threat. Where a threat is identified, new development or site alteration shall only be permitted where it has been demonstrated that any increase in water demand beyond the allocated demand is sustainable as determined by the MOECC in accordance with the applicable Source Protection Plan and *Ontario Water Resources Act*. “
- b) “WHPA-Q2” is an area delineated through a Tier 3 Water Budget and Water Quantity Risk Assessment as being an area that includes a WHPA-Q1 and an area where a future reduction in recharge would significantly impact the WHPA-Q1 area. Within a WHPA–Q2 Area, a Water Balance Study, or similar study, may be required to the satisfaction of the Township, in accordance with the applicable Source Protection Plan and in consultation with the Conservation Authority and/or Township staff, in

order to demonstrate that pre-development recharge rates will be maintained. In instances where pre-development recharge rates cannot be maintained, proponents will be required to provide for off-site recharge enhancement elsewhere within the WHPA-Q2 commensurate with the predicted loss of recharge attributable to the proposed development.

- c) The use of best management practices such as low impact development to maintain pre-development recharge rates for non-major development or site alterations in a WHPA-Q2 (as identified in the applicable Source Protection Plan) assigned a moderate risk level will be implemented.

Planning Approval Authorities shall examine municipal water supply servicing constraints, including servicing capacity and the maintenance of the hydrological integrity and recharge functions of the municipal wells, as part of its municipal comprehensive review when considering settlement area expansions.

#### **1.10.2.6 Land Use Restrictions in WHPAs**

- a) Within WHPAs identified in Section 1.10.2.3, it may be necessary to restrict or even prohibit land uses associated with certain activities that may include a significant drinking water threat due to their potential to negatively impact groundwater and surface water quality and drinking water quantity, as contained in Section 1.10.2.4.
- b) These land uses associated with certain activities include, but are not limited to, the use of Dense Non-Aqueous Phase Liquids (DNAPL's).
- c) DNAPL's are described as chemicals that are both denser than water and do not dissolve readily in water. Because of these traits, DNAPLs tend to sink below the water table and only stop when they reach impenetrable bedrock. The presence of DNAPLs is considered a significant threat if they occur anywhere within the five year time of travel of a WHPA as detailed in the Source Protection Plans.
- d) Development which proposes the construction of impervious surfaces within WHPAs identified in Section 1.10.2.3 shall consider the impact of the application of road salt in accordance with the policies of the applicable Source Protection Plan.
- e) Unless otherwise specified in applicable Source Protection Plans, waste disposal sites within the meaning of Part V of the Environmental Protection Act are not permitted within a WHPA with a vulnerability score of 8 – 10.
- f)

### 1.10.2.7 Infrastructure Restrictions in WHPAs

- a) New private or municipal sewage system infrastructure should be located, wherever possible, outside of all WHPAs identified in Section 1.10.2.3 a). New systems that must be located within WHPAs may be considered where compliance with the policies set out in Section 1.10.2 and the applicable Source Protection Plan has been demonstrated.
- b) Within a WHPA with a vulnerability score of 10, development that includes a new small on-site sewage system may only be permitted where it has been demonstrated that the lot is of sufficient size to accommodate a small, on-site sewage system designed and constructed in accordance with the standards of the Ontario Building Code. Existing lots of record as of the effective date of the applicable Source Protection Plan are not subject to this policy (SGBLS – July 1, 2015, TCC – January 1, 2015 and CTC – December 31, 2015). Large private septic systems (greater than 10,000 litres of effluent treated per day) are not permitted within WHPA – A.
- c) The location, design and construction of stormwater management facilities within WHPAs identified in Section 1.10.2.3 a) shall be permitted in compliance with the applicable Source Water Protection Plan. Where possible, such facilities should be located outside of WHPAs. The use of best management practices such as low impact development will be encouraged for all developments.
- d) All future stormwater management facilities shall direct the discharge of stormwater outside of WHPAs identified in Section 1.10.2.3 a) where the activity would be a significant municipal drinking water threat.

#### 1.10.2.7.1

Notwithstanding Section 1.10.2.7, for property located within the CTC Protection Plan area, the following policies shall apply:

- i. No new lots requiring septic systems, including holding tanks, or utilizing sub-surface disposal, governed under the *Building Code Act* shall be created within WHPA-A. Vacant lots of record shall be subject to site plan control to ensure that new private on-site sewage systems, including replacement beds, are designed to be located outside of areas with a vulnerability score of 10 within WHPA-A and B;
- ii. New development dependent on septic systems with subsurface disposal or effluent, as regulated by the Ontario Water Resources Act, shall only be permitted in WHPA-B if the proponent has

demonstrated that the proposal complies with the policies of the CTC Source Protection Plan;

- iii. The use of land for the establishment of a new stormwater management facility shall be prohibited where the discharge (including infiltration) of stormwater would be into a significant threat area in a WHPA-A. Stormwater management facilities may only be permitted within WHPA-B if the proponent has demonstrated that the proposal complies with the policies of the CTC Source Protection Plan;
- iv. The use of land for the establishment of facilities for the treatment or storage of sewage shall be prohibited where the activity would be a significant drinking water threat in a WHPA-A. Sewage treatment or storage facilities may only be permitted within a WHPA-B and WHPA-C if the proponent has demonstrated that the proposal complies to the policies of the CTC Source Protection Plan;
- v. The establishment of new parking lots in excess of 2,000 m<sup>2</sup> shall be prohibited in a WHPA-A. Where new roads or parking lots are proposed within WHPA-B with a vulnerability score of 10, a salt management plan is required as part of a complete application.

#### **1.10.2.8 Significant Groundwater Recharge Areas and Highly Vulnerable Aquifers**

Significant Groundwater Recharge Areas (SGRA) mean areas within which it is desirable to regulate or monitor municipal drinking water threats that may affect the recharge of an aquifer.

Highly Vulnerable Aquifers (HVAs) are defined under the *Clean Water Act* as an aquifer that can be easily changed or affected by contamination from both human activities and natural processes as a result of (a) its intrinsic susceptibility as a function of the thickness and permeability of overlaying layers, or (b) by preferential pathways to the aquifer.

SGRAs and HVAs shall be protected from incompatible development or site alteration that may reduce the recharge of an aquifer.

SGRAs and HVAs have been identified and mapped through the Source Water Protection Assessment Report process and are shown in Appendix D to this Plan.

### 1.10.2.9 Major Development

New major development (excluding single detached residential, barns and non-commercial structures that are accessory to an agricultural operation) shall only be permitted in WHPA-Q2, where:

- a) it can be demonstrated through the submission of a technical report (i.e. hydrogeological study), that the existing water balance can be maintained through the use of best management practices such as low impact development; and,
- b) where necessary, implementation and maximization of off-site recharge enhancement within the same WHPA-Q2 area (as identified by the applicable Source Protection Plan) is required to compensate for any predicted loss of recharge from the development.

1.10.2.9.1 Notwithstanding Section 1.10.2.9, for property located within the South Georgian Bay Lake Simcoe Source Protection Area major development shall mean:

The construction of a building or building on a lot with the ground floor area cumulatively equal to 500 m<sup>2</sup> (5382 sq ft), and any other impervious surface. Note single detached residential properties are exempt from the definition.

### 1.10.2.10 Development Approvals

- a) Where development is proposed within a WHPA identified in Section 1.10.2.3 a) which could potentially pose a risk to a municipal water source and which requires approval under the *Building Code Act, Planning Act* or *Condominium Act, 1998*, the proposal will require review by the RMO. This requirement will be established as a condition of the submission of a complete application in accordance with the provisions of Section 3.16 of this Plan.
- b) In addition to any requirements pursuant to the *Building Code Act*, for all applications made under the *Planning Act* or *Condominium Act, 1998* within WHPAs identified in Section 1.10.2.3 a), a Section 57, 58 or 59 Notice under the *Clean Water Act, 2006* from the RMO shall be required for an application to be deemed complete. The Section 57, 58 or 59 Notice is required because certain activities within WHPAs, as set out in the approved Source Protection Plans, may be prohibited, restricted or require a risk management plan. This requirement shall be established as a condition of the submission of a complete application in accordance with

the provisions of Section 3.16 of this Plan.

- c) In addition to any requirements pursuant to the *Building Code Act*, for all applications made under the *Planning Act* or *Condominium Act, 1998* within WHPAs identified in Section 1.10.2.3 a), a master environmental servicing plan (MESP) that addresses stormwater pond discharges and sanitary sewers and related pipes may be required at the discretion of the Township.
- d) All new development within WHPAs identified in Section 1.10.2.3 a), shall be subject to Site Plan Control as described in Section 3.6 of this Plan.

## **1.11 ACCESSIBILITY AND VISITABILITY**

### **1.11.1 Commitment**

The Township is committed to implementing the Ontarians with Disabilities Act through:

- a) The continual improvement of access to municipal facilities, programs and services for those with disabilities; and,
- b) The provision of quality services to all members of the community with disabilities.

The Township will encourage other public and private sector organizations in the municipality to adopt similar goals with respect to their facilities as required to implement the Ontarians with Disabilities Act.

### **1.11.2 Accessibility Committee**

The Township Accessibility Committee will provide input to the Township with respect to accessibility issues, including preparation and implementation of the annual Accessibility Plan. The Township will work with the Committee, residents, businesses and other organizations to identify barriers and propose options to overcome them, to develop education resources and monitor progress.

### **1.11.3 Principles of Universal Design**

The principles of universal design will be applied to all public spaces where feasible depending on the financial resources of the Township, and within new developments to ensure access and visitability for all individuals, while recognizing the need for balance where cultural heritage resources are involved. Regard shall also be given to the Ontarians with Disabilities Act, Ontario Building Code, any Township heritage guidelines, and where appropriate, the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada.

## **1.12 DRUG TREATMENT AND HARM REDUCTION FACILITIES**

### **1.12.1 Facility Definitions**

A drug treatment facility provides recovery-based programs for people dependent on prescription or illicit opioid drugs. Such facilities provide a range of treatment plans, but all recovery programs require medical supervision and ongoing assessment in accordance with the standards and guidelines of the College of Physicians and Surgeons of Ontario. Drug treatment facilities can include stand-alone clinics and residential treatment programs. Such facilities can also be located in hospitals, shelters and long-term care facilities.

Harm reduction refers to policies, programs and practices that aim primarily to reduce the adverse health, social and economic consequences of legal and illegal psychoactive drugs without necessarily reducing drug consumption. Harm reduction programs are operating through public health units and provide safer injecting and safer inhalation supplies through access points across the Province. Such programs are co-located with other public or non-profit facilities, or in some cases pharmacies.

### **1.12.2**

Careful planning is required to minimize impacts on the community and to reduce the potential for impacts on the privacy of patients. As such, the Township will consider the following criteria in evaluating development applications for stand-alone clinic facilities for drug treatment such as those located in pharmacies, shelters, or medical offices or clinics, excluding residential treatment programs. This will include a requirement for site plan control under the Planning Act:

- a. Privacy for patients including a lobby or waiting area large enough to accommodate peak volumes, adequate on-site parking and discrete entrances.
- b. Easily accessible locations by all modes of travel.
- c. Crime Prevention Through Environmental Design (CPTED) – Use of CPTED principles in designing new facilities or renovating existing buildings and the surrounding areas.
- d. Establishment of separation distances from sensitive uses such as schools and community centres.

# **SECTION 2 UXBRIDGE URBAN AREA SECONDARY PLAN**



## 2.1 INTRODUCTION

### 2.1.1 Purpose

The Uxbridge Urban Area Secondary Plan establishes policies with respect to community structure, natural heritage, servicing, community design, land use, and transportation to guide the planning of the Urban Area and surrounding lands. The Plan provides a planning framework for the Township, existing and future residents, land owners, other levels of government and other interested groups.

### 2.1.2 Secondary Plan Area

The Secondary Plan Area on Schedule A is bounded by:

- i) North Ball Road;
- ii) East Regional Road No. 23;
- iii) South Brookdale Road to Main Street South (Concession Road 7) and a line representing a westerly extension of Brookdale Road between Main Street South and Highway 47; and,
- iv) West Concession Road 6.

### 2.1.3 Secondary Plan Structure

The Secondary Plan includes Schedule “A”, Land Use and Transportation Plan Uxbridge Urban Area; Schedule “B”, Natural Heritage System and Supportive Uses Uxbridge Urban Area; Schedule “B1”, Oak Ridges Moraine Conservation Plan, Areas of High Aquifer Vulnerability Uxbridge Urban Area; Schedule “B2” Oak Ridges Moraine Conservation Plan, Landform Conservation Areas Uxbridge Urban Area; Schedule “D”, Phasing Plan Uxbridge Urban Area; Schedule “E”, Corridor Commercial Special Policy Sites Uxbridge Urban Area. The Plan policies are structured as follows:

- i) Section 2.2 Water Management and Servicing Strategy;
- ii) Section 2.3 Natural Heritage System and Supportive Uses;
- iii) Section 2.4 Community Design Strategy;

- iv) Section 2.5 Land Use Strategy;
- v) Section 2.6 Transportation Strategy; and,
- vi) Section 2.7 Development Review.

Appendices A - Subwatershed Areas; and B - Resource Targets; C- Vacant Development Sites provide information only and are not an operative part of the Secondary Plan.

**2.1.4 Planning Period**

The policies and designations of the Plan are intended to guide planning in the Urban Area to the year 2031. However, as new information becomes available or conditions change, the Official Plan shall be reviewed and amended, as required. At a minimum, the Plan as it pertains to the Urban Area shall be reviewed every five years to ensure that it reflects Provincial plans and policies, updated projections with regard to population, employment and other changes.

Further, the external boundary of the Uxbridge Urban Area on Schedules “A” through “L” is fixed for a minimum of ten years from December 16, 2004. It will be reviewed in accordance with the provisions of the Oak Ridges Moraine Conservation Act and the Greenbelt Act. However, no expansion or lot creation may occur where the boundary would encroach into lands designated “Natural Core Area” or “Natural Linkage Area” in the Oak Ridges Moraine Conservation Plan and the Durham Regional Official Plan and into the “Greenbelt Natural Heritage System” of the Greenbelt Plan and the Durham Regional Official Plan. Further, any urban boundary expansion shall only be considered as part of a municipal comprehensive review.

**2.1.5 Population and Employment**

**2.1.5.1 Population**

The Urban Area is designed to accommodate the following population forecast established in the Durham Regional Official Plan, subject to the availability of municipal sewer and water servicing capacity recognizing that servicing capacity in 2010 limits development to a population of 13,000:

Year	Population
2011	11,385
2016	12,725
2021	13,715
2026	15,305
2031	16,480

### **2.1.5.2 Employment**

The employment forecast for the Township for the planning period is 8,970 jobs. The Township will strive to accommodate a significant percentage of these jobs in the Urban Area, recognizing the limited amount of available land for employment uses. In addition, employment will occur in the industrial parks in the rural area, including the Pioneer Industrial Park immediately to the south of the Urban Area on Regional Road Highway 47. Employment will also occur throughout the rural area through resource development including agriculture and aggregates, and in the hamlets.

## **2.1.6 Oak Ridges Moraine Conservation Plan**

### **2.1.6.1 The Oak Ridges Moraine Conservation Plan**

The southern portion of the Secondary Plan Area as outlined on Schedules “A” through “L” is located within the Oak Ridges Moraine. The Oak Ridges Moraine has a unique concentration of environmental, geological and hydrological features that make its ecosystem vital to south-central Ontario.

The Oak Ridges Moraine Conservation Plan (Moraine Plan) was established by Ontario Regulation 140/02 in April 2002 by the Province of Ontario - deemed to come into effect on November 16, 2001 - as an ecologically based plan to provide land use and resource management direction to protect the Moraine’s ecological and hydrological features and functions. The Township’s planning decisions within the Oak Ridges Moraine Conservation Plan Area must conform with the policies of this Plan, the Durham Regional Official Plan and the Moraine Plan. The Uxbridge Urban Area Secondary Plan has been amended to conform with the Moraine Plan.

### **2.1.6.2 Moraine Plan Objectives**

Planning decisions in the Oak Ridges Moraine Conservation Plan Area shall reflect the objectives of the Moraine Plan which are found in the Oak Ridges Moraine Conservation Act, 2001, and also the purpose and objectives for Settlement Areas under Section 18(1) and (2) of the Moraine Plan as they apply to the Uxbridge Urban Area.

### **2.1.6.3 Oak Ridges Moraine Planning Framework - Urban Area**

The lands in the southern portion of the Uxbridge Urban Area, which includes the lands in the Urban Area boundary on Schedule “A” to this Plan, are located within the Moraine and are subject to the policies of the Moraine Plan. These lands are identified as a “Settlement Area” in the Moraine Plan and, in addition to the other policies of this Plan, are subject to the provisions of the Moraine Plan,

particularly the provisions Part II, Section 18 and Part III, Protecting Ecological and Hydrological Integrity Sections 21 to 26, 27(3), 28 and 29 and 30(1), (12) and (13) and the Table to Part III and Part IV, Sections 41(1), (4), (5) and Sections 42 to 47. The following should be noted:

- i) All uses permitted in the applicable official plan are permitted in Settlement Areas, subject to the policies of the Moraine Plan, in Sections 19(3) and 31(4).
- ii) New lots may be created in Settlement Areas subject to the provisions of Sections 19(3) and 31(4) of the Moraine Plan.
- iii) Existing uses shall be subject to the provisions of Section 6, 7 and 8 of the Moraine Plan.
- iv) With respect to land that does not include a key natural heritage feature or a hydrologically sensitive feature as designated on Schedule "B", an application for site plan approval under Section 41 of the Planning Act is not required to comply with the provisions of the Moraine Plan;
- v) Nothing in this Plan applies to prevent a use or the erection or location of a building or structure in the area identified on Schedules "A" and "B" as being subject to the policies of Section 18(6) of the Moraine Plan if:
  - a) the use, erection or location would have been permitted by the applicable zoning by-law on November 15, 2001;
  - b) the use is permitted by the applicable official plan and zoning by-laws as amended in accordance with Sections 9 and 10 of the Oak Ridges Moraine Conservation Act to bring them into conformity with the Moraine Plan, although the erection and location do not comply with the provisions listed in Sections 19(3) and 31(4) of the Moraine Plan;
  - c) the use, erection and location conform with Sections 28 and 29, subsections 45(7) and (8) and Section 47 of the Moraine Plan; and,
  - d) the applicant demonstrates, to the extent possible, that the use, erection or location will not adversely affect the ecological integrity of the Moraine Plan Area.
- vi) The following uses shall be prohibited on lands identified as "Areas of High Aquifer Vulnerability" on Schedule B1" Oak Ridges Moraine Conservation Plan, Areas of High Aquifer Vulnerability Uxbridge Urban Area:
  - a) Generation and storage of hazardous waste or liquid industrial waste;
  - b) Waste disposal sites and facilities, organic soil conditioning and snow storage and disposal facilities;
  - c) Underground and above-ground storage tanks that are not equipped with an approved secondary containment device; and,

- d) Storage of a contaminant listed in Schedule 3 (Severely Toxic Contaminants) to Regulation 347 of the Revised Regulations of Ontario, 1990”.
- vii) With respect to lands identified as “Landform Conservation Areas” on Schedule “B2’ Oak Ridges Moraine Conservation Plan, Landform Conservation Areas Uxbridge Urban Area, where development is proposed, the Township will take into consideration in the review of the application planning, design and construction practices that will keep disturbance to landform character to a minimum to satisfy the provisions of Section 30,(1), (12) and (13) of the Moraine Plan, if possible.

#### **2.1.6.4 Purpose**

The primary intent of the policies of the Moraine Plan with respect to the Uxbridge Urban Area is to focus and contain urban growth.

#### **2.1.6.5 Relationship of Secondary Plan and Moraine Plan**

Where there is a conflict between the policies of this Plan and the policies of the Moraine Plan, the policies of the Moraine Plan shall take precedence.

#### **2.1.6.6 Transitional Applications**

Notwithstanding any other provisions of this Plan, with respect to transitional applications as established in accordance with Section 15 of the Oak Ridges Moraine Conservation Act, 2001, the provisions of Section 48 of the Moraine Plan are the only provisions of that Plan which shall apply, in addition to the provisions of this Secondary Plan.

#### **2.1.6.7 Oak Ridges Moraine Planning Framework - Lands Outside the Urban Area Boundary**

Lands outside the Urban Area boundary on Schedule “A” in the Oak Ridges Moraine Conservation Plan Area shall be subject to the policies of Section 1.9 of the Official Plan. However, those lands south of Elgin Park Drive identified as a “Special Policy Area” on Schedule “A” may be zoned to permit the use existing as of June 28, 2010. In addition, the lands identified as “Special Policy Area” may be zoned to permit a hotel with a maximum height of five storeys. The hotel use shall be subject to site plan approval under the Planning Act and through that process the Township will ensure that consideration is given to mitigating any impacts of the development on the surrounding residential land uses including noise light, noise, traffic, privacy considerations, and shadows, as well as impacts on the natural environment.

### **2.1.6.8 Definitions**

Definitions for terms applicable to lands in the Oak Ridges Moraine Conservation Plan Area are found in Part I, Section 3 of the Moraine Plan. A complete copy of the Moraine Plan should be reviewed before any determination is made with respect to an interpretation of the policies for Oak Ridges Moraine Conservation Plan Area.

### **2.1.7 Lake Simcoe Protection Plan**

The Lake Simcoe Protection Plan is applicable to the Uxbridge Urban Area. The Plan is designed to protect and restore the ecological health of the Lake Simcoe watershed. The Township in making decisions under the Planning Act or the Condominium Act, 1998 is required to conform with the applicable designated policies in the Plan and have regard to other applicable policies.

## **2.2 WATER MANAGEMENT AND SERVICING STRATEGY**

### **2.2.1 Purpose**

Good water management is essential for the future of the Uxbridge Brook Watershed in which the Uxbridge Urban Area Secondary Plan Area is located. The Uxbridge Brook Watershed Plan identifies resource management issues and recommends development constraints and best management practices for the watershed. The Water Management and Servicing Strategy, in conjunction with the other policies of the Secondary Plan, is intended to insure that the guiding principles of the Uxbridge Brook Watershed Plan are implemented in the Uxbridge Urban Area Secondary Plan Area. These principles are:

- i) To protect what is healthy; and,
- ii) To rehabilitate what is degraded.

The Water Management and Servicing Strategy is also intended to provide direction with respect to the servicing of the community in a manner which will ensure the health and safety of residents and the environment, and conformity with provincial and regional policies.

### **2.2.2 Moraine Plan Servicing Policies**

In addition to any other policies of this Section, the applicable policies of the Moraine Plan with respect to servicing, particularly Sections 42 to 47 and Section 1.9.9 of this Plan, shall apply to the lands in the Oak Ridges Moraine Conservation Plan Area on Schedules "A" through "L".

### **2.2.3 Uxbridge Brook Watershed Plan Implementation**

The Uxbridge Brook Watershed Plan establishes detailed recommendations for each subwatershed in the Watershed. Subwatersheds 2, 3, 4, 5, 7, 8 and 9 are located in the Uxbridge Urban Area Secondary Plan Area (See Appendix A for map of subwatersheds and related recommendations). The Township will work with the responsible agencies to implement the recommendations of the Watershed Plan.

### **2.2.4 Stormwater Management**

#### **2.2.4.1 Stormwater Quality Management**

In addition to the implementation of the Watershed Plan, to improve water management, and as a precondition for any significant new development in the Urban Area, a comprehensive stormwater quality management study for the entire Urban Area was undertaken.

All future development shall conform to the recommendations of the Uxbridge Urban Area Stormwater Management Study, July 2000, as updated January 2002 and any further updates. With respect to remediation, the Township will implement the remediation plan in the Stormwater Management Study including:

- i) working with landowners abutting the Uxbridge Brook and other agencies to rehabilitate degraded areas of the stream in accordance with the recommendations of the Watershed Plan;
- ii) upgrading the existing urban stormwater system;
- iii) ensuring that old and new stormwater management systems are combined wherever opportunities to do so arise, except where crossover into different watershed catchments will result; and,
- iv) carrying out regular maintenance of existing stormwater management facilities.

#### **2.2.4.2 Stormwater Quality Management - New Development**

In addition to implementing the recommendations of the Stormwater Management Study, prior to the approval of plans of subdivision or other new development applications in the Urban Area, a functional servicing study must be prepared and approved by the Township, in consultation with the Conservation Authority. The functional servicing study will address how the Resource Targets for Management Issues in the

Watershed Plan (see Appendix B), and the recommendations of the Stormwater Management Study, will be achieved. In particular, all new development shall satisfy any applicable policies of the Lake Simcoe Protection Plan and:

- i) meet Enhanced quality control criteria with state of the art phosphorus removal systems;
- ii) provide 24 hour detention for runoff from a 40 mm storm event; and,
- iii) provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.

## **2.2.5 Sewer Services**

### **2.2.5.1 Sewage Treatment Facility**

Sewage treatment for the majority of existing development in the Uxbridge Urban Area is provided by the Uxbridge Brook Water Pollution Control Plant (WPCP) which has limited remaining capacity, although there is reserve capacity for lands on private services to reflect the objective of ultimately providing full services to all development within the Urban Area.

### **2.2.5.2 Sewage Service**

- i) All new development in the Uxbridge Urban Area as identified on Schedule “A” to this Plan, shall be serviced by the municipal sewage collection and treatment system. No building permits shall be issued until available sanitary sewage capacity has been confirmed by the Regional Municipality of Durham and allocated by the Township.
- ii) Those areas within the Urban Area currently serviced by private sewage treatment facilities may continue to use private services. However, wherever feasible, the intent is that all lands in the Urban Area will ultimately be serviced by the municipal system when the municipal sewage collection and treatment system is extended. Connections will occur overtime as such lots require services, however, earlier connection shall occur if required by legislation.
- iii) Development outside the Urban Area shown on Schedule “A” shall be serviced by private sewage disposal systems with the exception that the former St. John's Training School (now known as the Kennedy House lands) and certain properties abutting the gravity

portion of the sewer easement leading to the former Training School may be serviced by the municipal sewage collection and treatment system in accordance with Section 14.13.2 of the Durham Regional Official Plan which references certain sections of the July 14, 1976 Plan that remain in effect, including Section 10.4.1.6 which is applicable to these lands.

## **2.2.6 Water Supply and Distribution**

### **2.2.6.1 Water Supply Facilities**

Water supply for the majority of existing development in the Uxbridge Urban Area is provided by a system of wells operated by the Region of Durham .

The existing Hospital area well, together with the Comco Well and proposed Bonner Fields Well, will be capable of servicing the projected population to approximately 13,000 residential population. However an additional well source will be required to provide firm well pumping capacity for future growth beyond approximately 13,000 persons. The location of an additional municipal well site will be dependent upon results of hydrogeological investigations, a Class Environmental Assessment and, a well head protection study.

The Region of Durham will also require expansions to the existing Quaker Village Inground Water Storage Reservoir to service the Uxbridge Urban Area. The reservoir requirement has been identified on approved development plans in the Quaker Village Subdivision.

The Region of Durham is responsible for expansion of the water supply facilities which serve the Uxbridge Urban Area. Expansion, if required, would provide for additional population beyond the capacity of the existing water supply facilities. The objective is to ultimately provide full services, wherever feasible, to all development in the Urban Area.

### **2.2.6.2 Water Service**

- i) All new development in the Uxbridge Urban Area as identified on Schedule "A" to this Plan, shall be serviced by the municipal water supply and distribution facilities. No building permits shall be issued until available water capacity has been confirmed by the Regional Municipality of Durham and allocated by the Township.
- ii) Those areas within the Urban Area currently serviced by private water supply and distribution facilities may continue to use private

services. However, wherever feasible, the intent is that all lands in the Urban Area will ultimately be serviced by the municipal system when the municipal water supply and distribution system is extended. Connections will occur overtime as such lots require services however, earlier connection shall occur if required by legislation.

- iii) Development outside the Urban Area as shown on Schedule “A” shall be serviced by private water supply and distribution systems.

### **2.2.6.3 Wellhead Protection Areas**

Wellhead Protection Areas are designated on Schedule “L” to this Plan. The policies of Section 1.9.6 of this Plan shall apply to the lands in the Wellhead Protection Area designations both within the Oak Ridges Moraine Conservation Plan Area and outside that area.

## **2.2.7 Development Phasing**

### **2.2.7.1 Purpose**

Development in the Urban Area is conditional on the availability of municipal sewage and water services. The capacity of these services is limited and must be regularly monitored to ensure that development approvals do not exceed capacity. This is particularly true with respect to sewage treatment. It is important, therefore, to manage development in a manner which efficiently uses land, and existing resources, infrastructure and public service facilities and to avoid any premature or unnecessary expansion of infrastructure. Therefore, the Township shall encourage infilling within existing development areas.

### **2.2.7.2 Development Restrictions Related to Capacity**

The land designated for development may exceed the servicing capability of the sewage treatment system. Development will not be permitted, even if the land is located in the Urban Area and is designated for development, unless there is available servicing capacity. The Regional Municipality of Durham shall determine the availability of servicing capacity and shall define committed capacity to include reserves for the servicing of lands in the Urban Area currently on private services.

### **2.2.7.3 Servicing Allocation Policy**

The Township, in conjunction with the Region of Durham, shall develop a policy which shall be used to determine the sequence of development for

major new undeveloped areas. The policy shall be used as a basis for the reservation of sewage and water capacity to ensure that where servicing capacity is reserved for a specific development, that the development proceeds in a timely manner or the reserved capacity will be made available for development of other lands. In developing this policy, the Township shall give consideration to the servicing allocation policy of the Region which is that system capacity is finally allocated upon:

- i) execution of a servicing or subdivision agreement; or,
- ii) execution of a service connection application in the event of a severance, rezoning, site plan approval or for an existing lot of record.

#### **2.2.7.4 Holding Zone**

The Township shall review the zoning of the lands as shown on Schedule "D" and shall pass a by-law pursuant to the provisions of the Planning Act and Section 3.2.4 of this Plan to impose a holding provision on any developed lands which could be redeveloped at a density significantly higher than the existing development. Prior to passing a by-law to remove the holding zone, the Township shall ensure that all the requirements of Section 3.2.4 of this Plan are satisfied, and that the Township, in consultation with the Region, has confirmed sewage capacity is available for the redevelopment.

### **2.2.8 Utility Infrastructure**

The Township will work with utility providers to:

- i) ensure that adequate utility networks are established to serve existing and future development;
- ii) ensure that utilities are planned for and installed in a coordinated and integrated manner to maximize efficiency and cost effectiveness and minimize disruption;
- iii) encourage coordinated planning and installation of utilities in initial common trenches, where feasible, to avoid disruption to municipal rights-of-way and over digging; and,
- iv) ensure that large, above-ground utility infrastructure is located and designed to be compatible with its environment and that appropriate locations for large utility equipment and utility cluster sites have been delineated.

## 2.3 NATURAL HERITAGE SYSTEM AND SUPPORTIVE USES

### 2.3.1 Purpose

One of the key structural elements of the Uxbridge Urban Area and its sustainability, is its natural heritage system and supportive uses which enhance biodiversity and ecological health and function, while providing educational and recreational opportunities. A natural heritage system consists of natural features including key natural heritage features, key hydrologic features, and lands subject to natural hazards specifically flooding and erosion. Key natural heritage features are defined to include significant habitat of endangered species; fish habitat; wetlands; Life Science Areas of Natural and Scientific Interest (ANSIs); significant valleylands; significant woodlands; significant wildlife habitat; sand barrens, savannahs and tallgrass prairies and alvars. Key hydrologic features are defined to include permanent and intermittent streams; lakes (and their littorial zones); seepage areas and springs; and wetlands.

The key components of the Natural Heritage System are:

- i) Natural Hazard Area;
- ii) Environmental Constraint Area and Environmental Potential Area;
- iii) Environmental Buffer Area; and,
- iv) ORM Key Natural Heritage and Hydrologically Sensitive Features.

The Supportive Uses include:

- i) Park and Open Space Area;
- ii) Institutional Area;
- iii) Private Open Space Area; and,
- iv) Cemetery Area.

Stormwater management facilities shall also be constructed and designed as Supportive Uses.

Programs, studies and facilities which are designed to enhance the function of the Natural Heritage System and Supportive Uses include:

- i) Water Management;
- ii) Tree Planting and Conservation;
- iii) Trail System;
- iv) Significant Wildlife Habitat Areas; and,
- v) Zones of Influence.

The policies of this section, together with the designations on Schedules “A” and “B”, are designed to protect the existing Natural Heritage System and provide for its enhancement, including the creation of additional linkages, the enhancement of Supportive Uses, and the identification of significant wildlife habitat during the review of specific development applications.

### **2.3.2 Natural Hazard Area**

#### **2.3.2.1 Purpose**

The Natural Hazard Area overlay designation includes those lands that could be unsafe for development due to naturally occurring processes such as flooding, erosion susceptibility and slope instability. All floodplain areas which have been mapped by the Conservation Authority are included in the Natural Hazard Area overlay designation and the floodplain boundaries are identified on Schedules “A” and “B” to the Plan.

#### **2.3.2.2 Permitted Uses, Buildings and Structures**

- i) The permitted uses of land within areas designated Natural Hazard Area on Schedules “A” and “B” shall be the conservation, enhancement and preservation of the natural environment, works related to public health and safety infrastructure, and non-obtrusive passive recreational uses which will have no negative impact on the natural environmental features and ecological functions of the area, including no net loss of fish habitat.
- ii) The only exceptions to the foregoing, are the following uses and facilities:
  - a) development or land disturbance for required stream bank erosion protection and fish, wildlife and conservation management provided that any required reconstruction of the watercourse is completed based on natural channel design principles;
  - b) a limited number of roads and related utilities which shall be permitted to cross the Natural Hazard Area overlay designation in the general area of the road designations on Schedule “A”;
  - c) pedestrian trails or other similar passive recreation uses including non-obtrusive passive public park uses provided that public park uses shall not be permitted in the Natural Hazard Area designation where it abuts a Prime Agricultural

Area designation;

- d) minor storm drainage works and overflow valves (or other equivalent mechanisms or features) for internally draining areas that are demonstrated to be necessary for the conservation of the area and where there will be net environmental benefits;
- e) stormwater control facilities in flood susceptible areas where there will be net environmental benefit as determined by the Township, in consultation with the Conservation Authority, provided that all stormwater management ponds are located above the 1:100 year flood elevation;
- f) agricultural, agricultural-related and secondary uses, with the exception of new buildings and structures or new uses which require a building, fill or other permit, in the Major Open Space Area designation on Schedule "A" subject to the policies of Section 10A of the Durham Regional Official Plan;
- g) legally existing uses, buildings and structures existing on or before June 28, 2010, provided that:
  - Conversions from habitable to non-habitable uses are encouraged;
  - Limited expansion of existing buildings and structures may be permitted;
  - Existing buildings and structures may be replaced if destroyed in conformity with the Zoning By-law or an amendment to the By-law.

Where a building or other permit is required for any change to a building or structure, floodproofing shall be required by the Township in consultation with the Conservation Authority, in addition the Conservation Authority shall be satisfied with respect to its own legislative and regulatory powers; and,

- h) development may be permitted on a lot of record subject to the provision of required sewer and water services and regulations of the Zoning By-law, and provided that the building site:
  - Is subject to less than one metre of flooding and less than one metre per second of flow velocity in a regulatory storm event; and,
  - Has safe access to lands located above the

regulatory flood elevation.

However, such uses, with the exception of agricultural, agricultural-related and secondary uses, shall only be permitted by the Township, in consultation with the Conservation Authority, provided that prior to approving the location/construction of such uses, an environmental impact study or, where required an Environmental Assessment, shall be prepared by the Township, at the cost of the applicant, demonstrating:

- a) the need for such a use or facility; and,
  - b) that there is no negative impact on the functions and features of the Natural Hazard Area during both the construction and post-development phases provided that public park uses shall not be permitted in the Natural Hazard Area designation outside the Urban Area boundary.
- iii) Notwithstanding the provisions of subsections i) and ii) a permit is required from the Conservation Authority prior to any development or site alteration that causes interference with wetlands, or alterations to shorelines and watercourses.

### **2.3.2.3 Ownership**

- i) The Township shall seek the acquisition of the lands in the Natural Hazard Area overlay designation by the municipality or other public agency at no cost. However, the designation does not imply that the lands will be purchased by a public agency or that they are free and open to the public.
- ii) Such lands shall not be acceptable as parkland dedication under the Planning Act.
- iii) Where the lands in the Natural Hazard Area overlay designation are not acquired by a public agency, the Township may seek the maintenance and enhancement of the lands through the use of stewardship agreements.

### **2.3.2.4 Natural Hazard Area Boundaries**

- i) The areas included in the Natural Hazard Area designation have been identified based on information provided by the Conservation Authority. The precise location of the boundaries of natural hazard areas and the associated setbacks shall be established to the satisfaction of the Township in consultation with the Conservation

Authority, as part of the review of specific development applications. Where necessary, the proponent may be required to undertake technical studies to determine the erosion hazard limits, at their own expense. In addition, the Conservation Authority shall be satisfied with respect to its own legislative and regulatory powers.

- ii) Where it has been determined that there is no risk to public health and safety, lands can be removed from the Natural Hazard Area overlay designation without further amendment to this Plan subject to the approval of an environmental impact study and/or other detailed information or studies required by the Township in consultation with the Conservation Authority. The Conservation Authority shall also be satisfied with respect to its own legislative and regulatory powers. In particular, should the area subject to floodplain hazard in the Downtown be reduced through the implementation of the Brock Street East Culvert Environmental Assessment, those areas no longer in the floodplain, which are not subject to any other natural hazards, will revert to the underlying land use designation on Schedule “A”.

#### **2.3.2.5 Two Zone Concept**

- i) The one zone concept for floodplain management which uses the Hurricane Hazel storm as the regulatory flood limit standard for riverine systems is the primary floodplain management approach in the Township. The Township, in consultation with the Conservation Authority and/or Ministry of Natural Resources, may consider the adoption of a two zone concept for the lands in the Natural Hazard Area overlay designation. The two zone concept allows infill development and redevelopment of existing uses for identified areas in the floodplain where there is a significant difference between the one hundred year flood elevation, and the Regulatory Flood elevation, or where the flood fringe has been identified through hydraulic floodway analysis. Development of the two zone concept shall conform with all the factors for application of the concept outlined in Appendix 4 of the 2002 Technical Guide – River and Stream Systems – Flooding Hazard Limit, or its successor.
- ii) Where a two zone concept is approved, no amendment shall be required to this Plan, however the Floodway and Flood Fringe Areas shall be identified in the Zoning By-law based on mapping and definitions approved by the Township in consultation with the Conservation Authority.
- iii) Where the two zone concept is approved, the development and zoning of the lands in the floodplain shall be subject to the following conditions:

- a) Floodway: Development shall be subject to the policies of Sections 2.3.2.1 and 2.3.2.2.
- b) Flood Fringe: The zoning of the lands in the Flood Fringe may use the holding zone to provide directions as to future permitted uses and to ensure the conditions of flood proofing and safe access are met prior to development. The Zoning By-law may be amended to remove the holding zone when the requirements of the Township in consultation with the Conservation Authority are met. In addition, the Conservation Authority shall be satisfied with respect to its own legislative and regulatory powers. The permitted uses shall be those in the underlying land use designation on Schedule 'A' to this Plan.

### **2.3.3 Environmental Constraint and Environmental Potential Areas**

#### **2.3.3.1 Purpose**

The Uxbridge Urban Area Natural Heritage System includes the Environmental Constraint Area designation on Schedules "A" and "B" and the Environmental Potential Area overlay designation on Schedule "B". It is recognized also that the Greenbelt Plan identifies river valley connections which form part of the Uxbridge Urban Area Natural Heritage System. These areas are also subject to the provisions of Section 3.2.5 of the Greenbelt Plan.

#### **2.3.3.2 Environmental Constraint Area**

- i) The Environmental Constraint Area designation includes significant features which have been identified by the Conservation Authority as being critical components of the Lake Simcoe Natural Heritage System.
- ii) Features included in the Environmental Constraint Area designation include:
  - a) Provincially Significant Wetlands (PSWs);
  - b) Significant Woodlands as defined in the Regional Official Plan that are greater than 10ha in size;
  - c) Significant Habitat of Endangered or Threatened Species;
  - d) Significant valleylands;
  - e) Watercourses, excluding drains, and
  - f) Waterbodies and online ponds, excluding any stormwater management facilities.

- iii) The permitted uses of land within areas designated the Environmental Constraint Area designation on Schedules “A” and “B” shall be the conservation, enhancement and preservation of the natural environment and non-obtrusive passive recreational uses which will have no negative impact on the natural environmental features and ecological functions of the area, including no net loss of fish habitat.
- iv) Development and site alteration shall not be permitted in the Environmental Constraint Area designation and the associated vegetative protection zones, subject to the confirmation of the boundary in accordance with the policies of Section 2.3.3.6.

The only exceptions to the foregoing, are the following uses and facilities:

- a) development or land disturbance for required stream bank erosion protection and fish, wildlife and conservation management provided that any required reconstruction of the watercourse is completed using the principles of natural channel design and bio-engineering;
- b) a limited number of roads and related utilities which shall be permitted to cross the Environmental Constraint Area designation in the general area of the road designations on Schedule “A”;
- c) pedestrian trails or other similar passive recreation uses outside of Provincially Significant Wetlands, the significant habitat of endangered or threatened species, and erosion hazards associated with watercourses;
- d) agricultural uses with the exception of new buildings and structures, or new uses which require building, fill or other permits; and in the Major Open Space Area designation on Schedule “A” outside key natural heritage and/or hydrologic features subject to the policies of Section 10A of the Durham Regional Official Plan.
- e) Existing agricultural related and agricultural secondary uses.

However, the uses listed above, with the exception of agricultural uses which do not require building, fill or other permits, shall only be permitted by the Township, in consultation with the Conservation Authority, provided that prior to approving the location/construction

of such uses, an environmental impact study or, where required an Environmental Assessment, shall be prepared demonstrating:

- a) the need for such a use or facility; and,
- b) that there is no negative impact on the functions and features of the Environmental Constraint Area during both the construction and post-development phases.

### **2.3.3.3 Environmental Potential Area**

- i) The Environmental Potential Area overlay designation on Schedule “B” includes features considered to be significant components of the Lake Simcoe Natural Heritage System.
- ii) The features included in the Environmental Potential Area overlay designation, which may include Natural Heritage Features and Key Hydrologic Features, include:
  - a) identified wetlands of greater than 0.5ha in size;
  - b) woodlands between 4ha and 10ha in size;
  - c) significant valleylands;
  - d) significant wildlife habitat;
  - e) confirmed Provincial Life Science Areas of Natural and Scientific Interest (ANSIs);
  - f) fish habitat; and
  - g) proximity linkages between Environmental Constraint Areas and Environmental Potential Areas where deemed appropriate by the Township.
- iii) Excluding those uses identified in Section 2.3.3.2 iv), development and/or site alteration shall not be permitted in the Environmental Potential Area overlay designation and the associated vegetative protection zones unless it is demonstrated through an environmental impact study that:
  - a) No development shall occur in a key natural heritage and/or hydrologic feature;
  - b) There will be no negative impacts on the key natural heritage and/or hydrologic feature or their ecological function; and
  - c) The form and function of any key natural heritage and/or hydrologic feature will be maintained.

Further, development and/or site alteration within fish habitat shall only be permitted in accordance with provincial and federal requirements. In addition, where applicable the environmental

impact study shall include an evaluation of unevaluated wetlands to confirm their significance.

- iv) Where impacts cannot be avoided, mitigation of impacts on the natural features or their ecological functions may include creation, enhancement, or restoration of features where approved by the Township, in consultation with the Conservation Authority. In addition, the Conservation Authority shall be satisfied with respect to its legislative and regulatory powers. These may include enhancement or restoration of features on or off site.

#### **2.3.3.4 Ownership**

- i) The Township shall seek the acquisition of the lands in the Environmental Constraint Area designation, and lands in the Environmental Potential Area overlay designation which are identified as being protected based on their significance, by the municipality or other public agency at no cost using various land securement tools. However, the designations do not imply that the lands will be purchased by a public agency or that they are free and open to the public.
- ii) Such lands shall not be acceptable as parkland dedication under the Planning Act.
- iii) Where the lands in the Environmental Constraint Area and Environmental Protection Area designations are not acquired by a public agency, the Township may seek the maintenance and enhancement of the lands through the use of stewardship agreements.

#### **2.3.3.5 Environmental Constraint and Environmental Potential Area Boundaries**

- i) The areas included in the Environmental Constraint and Environmental Potential Area designations were identified based on a general background analysis. The precise location of these designations and their boundaries shall be established to the satisfaction of the Township in consultation with the Conservation Authority, when considering development applications based on a feature staking and an environmental impact study. This study shall be scoped with the Township, in consultation with the Conservation Authority, prior to commencement.

An environmental impact study shall be required for any development applications and/or site alteration for lands inside or in

proximity to the Environmental Constraint Area designation or Environmental Potential overlay designation within the Urban Area, and for lands inside or within 120 metres to the Environmental Constraint Area designation or Environmental Potential Area overlay designation outside the Urban Area to better define the exact preservation requirements, buffer widths required to maintain feature, form and functions and boundaries.

- ii) Minor boundary refinements to the Environmental Constraint Area designation and Environmental Potential overlay designation shall not require an amendment to the Plan subject to the approval by the Township, in consultation with the Conservation Authority, and the Ministry of Natural Resources where a Provincially Significant Wetland is involved, of an environmental impact study and/or other detailed information required by the Township.
- iii) Deletion of any area from the Environmental Constraint Area that are not deemed to be minor boundary refinements by the Township shall require an amendment to the Plan. Such an amendment shall only be approved based on an environmental impact study carried out or peer reviewed by the Township, in consultation with the Conservation Authority, and the Ministry of Natural Resources where a Provincially Significant Wetland is involved, at the cost of the applicant. Through these studies the Township must be satisfied that:
  - a) any environmental and/or physical hazards can be mitigated in a manner which is consistent with accepted engineering and resource management practices; and,
  - b) proposed development and related works:
    - recognizes natural ecological systems and processes and ensures that they are maintained and enhanced;
    - does not result in any significant disruption of existing landforms and landscape features including vegetation, wetlands, steep slopes and ground water discharge areas;
    - will result in no negative changes to the natural quality and hydrogeological characteristics of any watercourses;
    - will result in no net loss of fish habitat; and,
    - will result in no loss of significant wildlife habitat.
- iv) Removal of any key natural heritage and/or hydrologic features in the Environmental Constraint designation or Environmental Potential Area overlay designation prior to development approvals

will require restoration to the satisfaction of the Township in consultation with the Conservation Authority.

### **2.3.3.6 Exceptions**

#### **2.3.3.6.1 241 Reach Street**

Notwithstanding the foregoing, development and site alteration shall be permitted on the lands in the Environmental Constraint Area designation on Schedules “A” and “B” described as 241 Reach Street, in accordance with the policies of the Residential Area designation, provided it is demonstrated through an environmental impact study that there will be no negative impacts on the natural features or their ecological functions. Where impacts cannot be avoided, mitigation of negative impacts on the natural features or their ecological functions may include creation, enhancement or restoration on or off site to the approval of the Township, in consultation with the Conservation Authority. In addition, the Conservation Authority shall be satisfied with respect to its own legislative and regulatory powers.

#### **2.3.3.6.2 Lands south of Elgin Park Dr. west and north of Wooden Sticks Golf Course, and east of Uxbridge Brook**

Notwithstanding any other policies of this section, the lands in the Environmental Constraint Area designation south of Elgin Park Drive, west and north of Wooden Sticks Golf Course and east of Uxbridge Brook shall be subject to the following policies:

- i) The permitted uses shall be conservation, enhancement and preservation of the natural environment and non-obtrusive/passive recreational uses which will have minimal impact on the natural features and ecological functions of the area.
- ii) The Township will work with the Region of Durham, the Lake Simcoe Conservation Authority and the land owner to determine how the lands will be managed for their long term protection, including the potential acquisition of the lands by the Township or other public agency. Where the lands are not acquired by a public agency, the Township shall seek the long term protection of the lands through the use of a stewardship or other agreement.
- iii) The lands in the Environmental Constraint Area designation shall not be acceptable as parkland dedication and shall be included as part of the studies required prior to the approval of any development in the “Recreation Mixed Use Area” in accordance with the provisions of Section 2.5.24.3.1 d) of this Plan including:

- a) a landform conservation plan;
- b) a woodland management plan; and,
- c) an erosion, sedimentation and stormwater management plan.

**2.3.3.6.3 Part of Lot 33, Concession 7 (former Township of Uxbridge) Part of Part 3 and Part 5, Plan 40 R-25419, Hamlet of Sandy Hook**

Notwithstanding any other policies of this section, development of one single detached dwelling and related site alteration shall be permitted on the lands in the Hamlet Area designation on Schedule “A”, including that portion in the Environmental Potential Area overlay designation on Schedule “B” described as Part of Lot 33, Concession 7 (former Township of Uxbridge) Part of Part 3 and Part 5, Plan 40R-25419, Hamlet of Sandy Hook, in accordance with the policies of the Hamlet Area designation and subject to the approval of any permit required by the Conservation Authority.

**2.3.3.6.4 Part of Lot 33, Concession 6 (former Township of Uxbridge) 246 Main Street North, Uxbridge Urban Area.**

Notwithstanding any other policies of this section, development of single detached dwellings and related site alteration shall be permitted on the lands in the Residential Area designation on Schedule “A”, including that portion in the Environmental Potential Area overlay designation on Schedule “B” described as Part of Lot 33, Concession 6 (former Township of Uxbridge) 246 Main Street North, in accordance with the policies of the Residential Area designation and subject to the approval of any permit required by the Conservation Authority.

**2.3.4 Environmental Buffer Area**

**2.3.4.1 Purpose**

Environmental buffer areas shall generally be provided around key natural heritage and/or hydrologic features in the Environmental Constraint Area or Environmental Potential Area designation to minimize potential conflict between human activities and sensitive environmental features, and to ensure that there are no negative impacts on natural features or the ecological functions for which they have been identified.

**2.3.4.2 Establishment of Buffer Area**

The size and extent of environmental buffer areas, the form they take and the uses permitted shall be established through the submission of an environmental impact study and/or other information required by the

Township, in consultation with the Conservation Authority, as part of the review of any development application for lands in or abutting lands in the Environmental Constraint Area or Environmental Potential Area designations or streams which are not included in the Environmental Constraint Area or Environmental Potential Area designations. Any required environmental impact study and/or other information shall be scoped with the Township in consultation with the Conservation Authority prior to commencement. Generally, as a minimum, an environmental impact study shall be required for lands within 120 metres (394 feet) of any Environmental Constraint Area or Environmental Potential Area designation. A key objective of such a study will be to identify key natural heritage and/or hydrologic features and related environmental buffer areas. Notwithstanding the foregoing, the minimum vegetation protection zone requirement for the lands in the Greenbelt Plan or Oak Ridges Moraine Conservation Plan areas shall be as established in those Plans. In addition, where development is proposed adjacent to a watercourse, a minimum naturally vegetated buffer zone of 30 metres shall generally be established on both sides of the watercourse.

#### **2.3.4.3 Development Status**

Environmental buffer areas may be included in the net development area, but, shall generally not form part of an individual lot intended for development. Where a buffer area is permitted to form part of an individual lot by the Township, in consultation with the Conservation Authority, the lot shall be:

- i) of sufficient size to allow the buffer to achieve its purpose as set out in Section 2.3.4.1;
- ii) zoned in an appropriate environmental protection zone; and,
- iii) the subdivider shall agree to include clauses in the agreements of purchase and sale advising prospective purchasers of the restrictions on the use of that portion of the lot.

### **2.3.5 Oak Ridges Moraine Area**

#### **2.3.5.1 Purpose**

The Key Natural Heritage and Hydrologically Sensitive Features identified on Schedule "B" and the Vegetative Buffers and Minimum Areas of Influence established in this section will be used in the evaluation of development applications in the Oak Ridges Moraine Conservation Plan Area in accordance with the policies of Section 2.1.6 of this Plan.

### 2.3.5.2 ORM Key Natural Heritage and Hydrologically Sensitive Features

The Key Natural Heritage and Hydrologically Sensitive Features identified on Schedule “B” include the following natural heritage and hydrologically sensitive features, and related vegetative buffers, as well as areas of influence:

- i) Natural Heritage Features
  - a) wetlands;
  - b) fish habitat,
  - c) areas of natural and scientific interest (life science);
  - d) significant woodlands; and
  - e) sand barrens, savannahs and tallgrass prairies.

The following additional features are to be identified using the criteria established by the Province of Ontario:

- a) significant portions of the habitat of endangered, rare and threatened species;
  - b) significant valleylands; and,
  - c) significant wildlife habitat.
- ii) Hydrologically Sensitive Features
  - a) permanent and intermittent streams;
  - b) wetlands; and,
  - c) kettle lakes.

In addition, seepage areas and springs are to be identified using the criteria established by the Province of Ontario.

Schedule “B” is based on mapping provided by the Province of Ontario. No amendment will be required to the Schedule where minor changes are proposed based on studies carried out in accordance with the provisions of the Moraine Plan or where changes to the mapping are required as a result of new information provided by the Province.

Notwithstanding the foregoing, any changes to Schedule “B” which affects the boundary of provincially significant wetlands, an area of natural and scientific interest (life science), habitat of endangered, rare and threatened species or fish habitat will only be made after confirmation by the Province of Ontario, and in the case of fish habitat, by the Department of Fisheries of Oceans or its delegate. In addition where changes are made to features, the revised mapping will be circulated to the Province, the Region and the applicable Conservation Authority.

### **2.3.5.3 Minimum Areas of Influence and Minimum Vegetation Protection Zones**

Table 2.1, Key Natural Heritage Features, Hydrologically Sensitive Features and Areas of Natural and Scientific Interest (Earth Science) Minimum Areas of Influence and Minimum Vegetation Protection Zones establishes the minimum area of influence and minimum vegetation protection zones which relate to the Key Natural Heritage and Hydrologically Sensitive Features.

**TABLE 2.1<sup>1</sup>**  
**KEY NATURAL HERITAGE FEATURES,**  
**HYDROLOGICALLY SENSITIVE FEATURES AND**  
**AREAS OF NATURAL AND SCIENTIFIC INTEREST (EARTH SCIENCE)**  
**MINIMUM AREAS OF INFLUENCE**  
**AND MINIMUM VEGETATION PROTECTION ZONES**

Column 1	Column 2	Column 3	Column 4
Item	Feature	Minimum Area of Influence (21)	Minimum Vegetation protection zone (21,23,26 (4), 30 (12))
1	Wetlands	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
2	Significant portions of habitat of endangered, rare and threatened species	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
3	Fish habitat	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
4	Areas of natural and scientific interest (life science)	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
5	Areas of natural and scientific interest (earth science)	All land within 50 metres of any part of feature	As determined by an earth science heritage evaluation carried out under subsection 30(12).
6	Significant valleylands	All lands within 120 metres of stable top of bank	All lands within 30 metres of stable top of bank, subject to clause 23(1)(d) if a natural heritage evaluation is required.
7	Significant woodlands	All land within 120 metres of any part of feature	All land within 30 metres of the base of outermost tree trunks within the woodland, subject to clause 23(1)(d) if a natural heritage evaluation is required.
8	Significant wildlife habitat	All land within 120 metres of any part of feature	As determined by a natural heritage evaluation carried out under section 23.
9	Sand barrens, savannahs and tallgrass prairies	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 23(1)(d) if a natural heritage evaluation is required.
10	Kettle lakes	All land within 120 metres of the surface catchment area	All land within the surface catchment area or within 30 metres of any part of feature, whichever is greater, subject to clause 26(4)(c) if a hydrological evaluation is required.
11	Permanent and intermittent streams	All land within 120 metres of meander belt	All land within 30 metres of meander belt, subject to clause 26(4)(c) and subsection 26(5) if a hydrological evaluation is required.
12	Seepage areas and springs	All land within 120 metres of any part of feature	All land within 30 metres of any part of feature, subject to clause 26(4)(c) and subsection 26(5) if a hydrological evaluation is required.

<sup>1</sup>Sections referenced are found in the Oak Ridges Moraine Conservation Plan

## 2.3.6 Park and Open Space Area

### 2.3.6.1 Purpose

The Township provides a high standard of parks and open space, and associated sports and recreation facilities. The Parks, Recreation and Culture Strategic Master Plan establishes a development strategy for parks and recreation facilities. The intent of the Park and Open Space Area designation is to provide for a full range of active and passive recreation facilities, unlike the Environmental Constraint Areas where any development must be restricted and recreation opportunities are necessarily limited. The Township will build on this existing system to maximize opportunities for leisure participation.

### 2.3.6.2 Parkland Hierarchy

- i) The Parkland Hierarchy which has been established for the Urban Area is outlined in Table 2.2 to the Plan. The Hierarchy will be used as a guide to the development of the Parkland System recognizing that it may not always be possible to attain the proposed standards. Where the optimal size of a park is not attainable through the dedication of land as part of a specific development, the Township shall attempt to consolidate lands through the combination of dedications to assemble a park of a suitable size, or shall take “cash-in-lieu” of parkland.
- ii) Where a park is integrated with an educational or major indoor recreational facility, the following criteria shall apply:
  - a) no physical barriers will be introduced to separate those facilities which fulfill a joint function;
  - b) a separate identity will be maintained for the park and school components by means of signage and landscaping;
  - c) the facilities shall be designed to be complementary; and,
  - d) the standards established by the Township in Table 2.2 for the provision of parkland shall not be reduced.

### 2.3.6.3 Relationship of Park and Open Space Uses to Natural Heritage System

The Township will work to maximize the role of such uses as components of the Natural Heritage System by:

- i) linking such uses to the community's trail system;
- ii) naturalizing a portion of such areas so there will be natural linkages to other parts of the Natural Heritage System; and,
- iii) designing new park facilities to enhance linkages within the Natural Heritage System.

#### 2.3.6.4 Recreation Facilities

The Township will use the Parks, Recreation and Culture Strategic Master Plan, and the Master Plan for the former St. John's Training School lands, as a basis for the provision of recreation facilities in the Urban Area, including the potential for a range of new facilities such as an aquatic facility and gymnasium.

<b>Table 2.2 Parkland Hierarchy</b>				
<b>Criteria</b>	<b>Local Park</b>	<b>Community Park</b>	<b>Natural Open Space Area</b>	<b>Design Feature</b>
Area/ Population	2 ha.(2.5 acres) /1,000 population	.5 ha (1.24 acres) /1,000 population	All available lands in the Environmental Constraint and Environmental Potential Area designations which can be acquired	Variable to be determined on a site specific basis
Minimum Size	1.2 ha (3 acres)	4 ha. (10 acres)	Not applicable	Variable to be determined on a site specific basis
Location	i) minimum continuous road frontage on two sides of park; ii) adjacent to a collector road; and, iii) adjacent to an elementary school or other open space lands where possible.	i) minimum continuous road frontage on two sides; ii) adjacent to a collector or arterial road iii) adjacent to an elementary or secondary school or other major open space lands where possible	All available lands in the Environmental Constraint and Environmental Potential Area designations which can be acquired	At key locations such as gateways to the community or specific neighbourhoods, key intersections, adjacent to public buildings or at focal points for specific neighbourhoods
Service Area	0.4 to 0.8 km. radius (0.2 to 0.5 mile)	Urban Area and adjacent portion of the rural area	Township	Urban Area

**Table 2.2  
Parkland Hierarchy**

<b>Criteria</b>	<b>Local Park</b>	<b>Community Park</b>	<b>Natural Open Space Area</b>	<b>Design Feature</b>
Facilities	i) sports fields; ii) hard surface play areas and components iii) play apparatus; iv) sitting areas; v) passive and free play areas; vi) landscaping appropriate to the park type; and, vii) parking areas.	i) major athletic facilities and/or standard sports fields; ii) other major recreation facilities such as bowling greens, tennis courts; iii) play apparatus; iv) water spray pad or other water play feature; v) hard surface play areas and components; vi) washroom facilities and servicing; vii) sitting and picnic areas; viii) passive and free play areas; ix) gazebos, picnic shelters and other seasonal structures; x) landscaping appropriate to the park type; and, xi) parking areas.	i) Trails ii) Picnic areas iii) Conservation and education related features to be determined on a site specific basis	Facility and landscaping requirements to be determined on a site specific basis

**2.3.7 Institutional Area**

**2.3.7.1 Purpose**

The intent of including the lands in the Institutional Area designation as a Supportive Use to the Natural Heritage System is to recognize the role of major institutional facilities with respect to the provision of open space and recreation facilities, but also as major nodes of activity which should be integrated with the community's trail system.

**2.3.7.2 Relationship of Institutional Uses to Natural Heritage System**

The Township will work with major institutional uses to maximize the role of such uses in support of the Natural Heritage System by:

- i) entering into agreements with such uses to permit public access to recreation and open space facilities which form part of institutional facilities wherever feasible;

- ii) linking such uses to the community's trail system and promoting the provision of parking facilities for bicycles in institutional areas;
- iii) encouraging the location of new institutional uses adjacent to existing recreation and open space areas;
- iv) locating new recreation and open space areas adjacent to institutional uses where feasible;
- v) ensuring that where an institutional use is replaced with a non-institutional use provision is made to continue and/or enhance any recreation and open space facilities and/or trail connections which were provided by the institutional use;
- vi) ensuring that a portion of such areas are naturalized so there will be natural linkages to other parts of the Natural Heritage System; and,
- vii) ensuring that new facilities are designed to enhance linkages within the Natural Heritage System where feasible.

## **2.3.8 Private Open Space Area**

### **2.3.8.1**

#### **Purpose**

There are a number of golf courses adjacent to the Urban Area. In addition in the future other large areas of private open space may be created in the Secondary Plan area. While these areas are not directly accessible by the public, they provide a visual open space linkage as Supportive Uses which can enhance the function of the Natural Heritage System. In addition, there is the potential that arrangements may be made for public trails across such lands.

### **2.3.8.2**

#### **Relationship of Private Open Space Areas to Natural Heritage System**

The Township will work with the owners of private open space uses to maximize the role of such uses as components of the Natural Heritage System by:

- i) entering into agreements or other arrangements to permit public trail access to such lands;
- ii) by providing for the potential of such connections in the design of the public trail system, where it is not immediately possible to arrange public trail access to such lands;
- iii) ensuring that new development adjacent to such lands is designed to

maximize public views into such sites;

- iv) ensuring that where a private open space use is replaced with a non-open space use provision is made to continue and/or enhance key parts of the open space feature and/or trail connections;
- v) ensuring that a portion of such areas are naturalized so there will be natural linkages to other parts of the Natural Heritage System; and,
- vi) ensuring that new facilities are designed to enhance linkages within the Natural Heritage System where feasible.

Notwithstanding the foregoing, this designation does not imply that the lands are free and open to the public. Control of access shall be at the discretion of the owners. Further, where a proposal is made to develop lands in the Private Open Space Area designation, the application will be given consideration in the context of the policies of the Plan, including Section 2.7.

### **2.3.9 Cemetery Area**

#### **2.3.9.1 Purpose**

The Cemetery Area designation recognizes existing cemeteries which represent permanent open space areas and which are Supportive Uses which can enhance the function of the Natural Heritage System.

#### **2.3.9.2 Permitted Uses, Buildings and Structures**

The permitted uses, and related buildings and structures, are a cemetery, excluding a crematorium.

#### **2.3.9.3 Land Use Policies**

Cemeteries shall be properly managed and maintained in accordance with the Cemeteries Act. (In addition, cemeteries shall also be subject to the policies of Section 2.3.8.2 of this Plan.) New cemeteries and expansions of existing cemeteries shall require an official plan amendment and shall be evaluated in accordance with the policies of Section 5.3.6 of the Durham Regional Official Plan.

### **2.3.10 Water Management**

Good water management is an essential to maintain the quality of the Natural Heritage System. The Township will carry out water management in accordance with the policies of Section 2.2 of this Plan.

## 2.3.11 Tree Planting and Conservation

### 2.3.11.1 Purpose

Tree conservation and planting both within the Natural Heritage System and throughout the Secondary Plan area provides a range of benefits to the environment. In addition, trees and other landscaping contribute to the quality of the design of the community.

### 2.3.11.2 Tree Planting and Conservation Objectives

- i) The Township shall as a priority seek to preserve areas with significant trees and other natural vegetation which occur in and adjacent to the Natural Hazard Area, Environmental Constraint Area, Environmental Potential Area, Park and Open Space Area, Institutional Area and Private Open Space Area designations, and to encourage the planting of additional trees and other natural vegetation in these designations, particularly native trees and vegetation where appropriate.
- ii) The Township shall also encourage the conservation of other significant trees and the planting of new trees, woodlots and other vegetation in the Secondary Plan area, particularly native trees and vegetation where appropriate.

### 2.3.11.3 Implementation

The Township shall implement the tree conservation and planting objectives:

- i) through their management of Township lands, including the development of a tree planting program for public lands;
- ii) by working with other public agencies and private owners with respect to the lands they control;
- iii) through the review of development applications in accordance with the provisions of this Plan;
- iv) through the adoption of a Tree Cutting By-law with respect to lands in the Natural Hazard Area, Environmental Constraint Area, Environmental Potential Area, Environmental Buffer Area, Park and Open Space Area, Institutional Area and Private Open Space Area designations; and,

- v) through the enforcement of the regulations of the Durham Region Tree Conservation By-law.

#### **2.3.11.4 Development Applications**

Tree preservation and planting plans shall be required as a condition of development for all applications requiring a zoning by-law amendment or site plan approval where such plans are required in accordance with the provisions of Section 2.7 of this Plan.

<b>2.3.12 Trail System</b>
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#### **2.3.12.1 Purpose**

The Township, as the “Trail Capital of Canada”, has developed an extensive system of pedestrian/bicycle trails. The Secondary Plan area has an existing system of natural areas which are partially linked together by both natural and human connections. The expansion of the trail system will build on this existing system to increase public access, strengthen existing linkages and create new ones.

#### **2.3.12.2 Trail System**

- i) The Township shall encourage the expansion of the existing system of pedestrian/bicycle trails in the Secondary Plan area over time, and as is financially feasible to do so, generally in accordance with the trails plan illustrated in Schedule “B” to this Plan. The Township shall also encourage the connection of this system to other trails in the Township and to enhance the trail connections to the Downtown.
- ii) The Township will work with landowners and other interested public agencies and private groups to implement the trails system, including addressing issues such as ownership and maintenance. In particular, the Township will work with such groups to construct a bridge or tunnel to allow for a safe crossing of the railway line in approximately the location designated on Schedule “B” to this Plan.
- iii) Where new development is proposed on sites which have potential for inclusion in the trail system, dedication of such lands to the Township shall be a condition of approval.

### **2.3.13 Significant Wildlife Habitat Areas**

The lands designated as part of the Natural Heritage System on Schedule “B” include the lands which are potential wildlife habitat areas. However, part of the review of any development application in accordance with the policies of Section 3.16 of this Plan will be the identification of significant wildlife habitat, as well as the significant habitat of rare, endangered and threatened species, and the development of a plan for their protection.

## 2.4 COMMUNITY DESIGN STRATEGY

### 2.4.1 Purpose

The Township's Community Vision reflects its unique character. Part of that character is determined by the design of the Urban Area, both in existing and new development areas.

This section outlines general design policies for the Urban Area, as well as specific policies related to the Main Central Area and Gateway Areas.

### 2.4.2 General Design Policies

#### 2.4.2.1 Streets and Streetscapes

The design of the street system, as well as the configuration of lots and siting of buildings adjacent to the streets (i.e. streetscape design) is an essential part of a community's character. The Township shall have regard for streetscape design, as well as transportation planning considerations, in reviewing proposals for new roads and modifications to the existing street pattern, as well as the relationship between the street and abutting development.

#### 2.4.2.2 Existing Street System

No significant changes are anticipated to the existing street system, particularly those streets designated as "local streets" on Schedule "A" to this Plan. However, where modifications such as widenings, additions of turning lanes and realignments are proposed, the Township shall carefully evaluate the impacts of such changes on the streetscape and shall seek to minimize modifications which detract from positive characteristics of the streetscape wherever possible. In addition, as part of such changes, the Township shall consider modifications which enhance the streetscape such as additional tree planting, widening of boulevards, widening or addition of sidewalks, addition of bike facilities and creation of landscaped medians.

#### 2.4.2.3 Street System - New Development Areas

- i) Street patterns in new development areas will be designed to reflect an interconnected street system with a modified grid pattern or other approaches which facilitate continuous and direct movement within a

development area, and between the development area, abutting areas and the existing community.

- ii) New development areas shall be connected to the existing community whenever possible through road connections, as well as bicycle and pedestrian links, to ensure that the community functions in an integrated fashion. These linkages will be developed in a manner which is sensitive to the character of existing areas, while promoting communication between all parts of the community. In addition, street patterns in new development areas shall provide for future connections into abutting undeveloped areas, whether or not such areas are designated for development. However, the provision for possible future connections is not to be construed as committing abutting lands for future development.

#### **2.4.2.4 Streetscape Design**

The layout of streets, configuration of lots and the siting of buildings and parking areas shall ensure that:

- i) parking areas for non-residential, apartment or other large scale residential uses are designed to reduce their impact on the adjoining streetscape by:
  - a) screening of the parking lot through the use of such features as low fences, walls or landscaping;
  - b) locating the lot on the site in a manner which reduces its impact on the street;
  - c) keeping to a minimum the amount of parking located between the main building and the street line;
  - d) a reduction in the scale of large parking areas through their subdivision into smaller areas by means of landscaping; and,
  - e) use of joint access where feasible.
- ii) buildings and structures are oriented to the street, and at intersections shall be massed toward the intersection, and there is no reverse lotting;
- iii) there are significant areas of unobstructed road frontage adjacent to open space, environmental constraint and institutional areas to allow views into such sites, and where possible public access, subject to

appropriate design to ensure no adverse environmental impacts;

- iv) in low density residential areas, garages shall be designed so that they are not the dominant feature in the streetscape, in particular, garages shall not:
  - a) project beyond the facade of the residence; or,
  - b) dominate the frontage of the lot

unless plans are submitted by the applicant to demonstrate to the satisfaction of the Township that the garages can be appropriately integrated with the streetscape;

- v) landscaping provides for features such as the definition of the street, framing of views and focal points, direction of pedestrian movement and demarcation of areas with different functions as appropriate;
- vi) lighting shall provide suitable illumination for vehicles, pedestrians and cyclists; and,
- vii) consideration is given to the location of utilities to minimize visual impact through such approaches as clustering and the use of innovative methods of containing such services within streetscape features such as lamp posts and transit shelters, particularly for large utility equipment and utility cluster sites.

When considering, as part of site plan approval, the design of the streetscape adjoining a site and the placement of sustainable design elements on adjoining roads, the Township shall ensure that:

- i) street furniture, paving treatment, signage and plantings reflect Township design standards and are appropriate to the specific area of the community;
- ii) plantings are selected and planted in a manner which ensures their long term sustainability;
- iii) the design provides for pedestrian safety and accessibility to existing or potential future transit;
- iv) the design reflects the other relevant policies of this section including Section 2.4.2.7, Safe Community Design and Section 2.4.4, Gateways.

#### **2.4.2.5 Views**

- i) New development shall be designed to preserve existing views of the surrounding rural area from the community existing at the date of adoption of the Plan. New development shall also be designed to preserve, enhance and/or create views of the following features:
  - a) natural features including woodlots and watercourses;
  - b) important institutional or other buildings;
  - c) parks and open space;
  - d) surrounding rural area.
  
- ii) Institutional or other major buildings and structures shall be encouraged to locate:
  - a) at the termination of a street or view corridor;
  - b) at the intersection of arterial or collector streets; and,
  - c) on Brock Street or Toronto Street.

#### **2.4.2.6 Landscape Design**

The Township shall ensure that appropriate landscaping is provided in all new development to:

- i) maintain and enhance the character of existing developed areas;
- ii) allow for the creation of strong landscaped features in new development areas; and,
- iii) provide for features such as the definition of public open space, framing of views or focal points, direction of pedestrian movement and demarcation of areas with different functions.

In particular, the Township shall promote the planting of native species of plant material and appropriate non-native, non-invasive species of plant material, as defined by the Township, in all areas of the Urban Area; and shall require the planting of native species of plant material and appropriate non-native non-invasive species plant material adjacent to existing natural areas and shall naturalize park areas with native species of plant material and appropriate non-native non-invasive species plant material where practical.

#### **2.4.2.7 Safe Community Design**

To promote safety and security in public places the following measures shall be followed:

- i) the design and siting of new non-residential buildings and structures or apartments or other large residential projects shall provide opportunities for visual overlook and ease of public access to adjacent streets, parks and open spaces;
- ii) clear, unobstructed views to parks and open spaces shall be provided from adjoining streets;
- iii) appropriate lighting, while recognizing the need to minimize light pollution, visibility and opportunities for informal surveillance shall be provided for all walkways, parking lots, parking garages and parks and open space areas;
- iv) landscape elements shall be selected and sited in order to maintain views for safety and surveillance;
- v) the sharing of such facilities as parking and walkways shall be encouraged to increase use and public presence in such areas;
- vi) design which promotes a sense of community ownership for public spaces by maximizing use, control and surveillance opportunities by occupants of adjacent buildings and frequency of use by the public shall be encouraged;
- vii) the provision of views into, out of and through publicly accessible interior spaces shall be encouraged; and,
- viii) design which precludes entrapment or the perception of entrapment through properly identified exits and signage shall be encouraged.

#### **2.4.2.8 Barrier Free Access/Universal Design Principles**

Barrier free access to public buildings and facilities, and along new and existing pedestrian routes, shall be promoted including ramps, automatic doors and curb cuts.

In addition, the principles of universal design will be applied to all public spaces and within new developments to ensure access and visitability for all individuals, while recognizing the need for balance where cultural heritage resources are involved. Regard shall also be given to the Ontarians with Disabilities Act, Ontario Building Code, any Township heritage guidelines, and where appropriate, the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada.

### **2.4.2.9 Active Transportation**

A key consideration in the design of new development, shall be features which contribute to the enhancement of the ability of pedestrians and bicyclists and other active transportation modes, as well as individuals with mobility challenges. These include additions to the Township’s trail system, the use of wide sidewalks, and the provision of bicycle parking and other facilities for bicycles. In particular, in consideration pedestrian movement on specific sites, the following shall apply:

- i) direct and clearly defined pedestrian connections which form an extension of the sidewalk and/or trail system shall be required throughout sites with one main pedestrian connection between all buildings and all adjacent municipal sidewalks, and secondary connections as appropriate;
- ii) main pedestrian routes shall be functionally separated from parking and driveway areas and shall use a variety of surface materials, landscaping and changes in elevation;
- iii) on larger sites, street furniture such as benches and waste receptacles and pedestrian level lighting should be provided along main pedestrian routes where appropriate; and,
- iv) opportunities for pedestrian connections with adjacent sites should also be explored and required wherever feasible.

<b>2.4.3 Downtown/Main Central Area</b>
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#### **2.4.3.1 Downtown/Main Central Area Role**

The Downtown as designated on Schedule “A”, including the lands designated as “Main Central Area” is, and shall continue to be the focal point of the community for residents and visitors. It is a mixed use area with its own unique heritage character which incorporates a “Main Street” commercial area, the location of the Town Hall and other significant institutional buildings, as well as residential neighbourhoods. New development should be designed to enhance this role in conformity with the policies of this section and of Section 2.5.15 of this Plan. In addition, in evaluating new development regard shall be had to the directions in the Downtown Revitalization Strategic Plan & Action Plan, March 2022 and the Downtown Uxbridge Public Consultation and Visualization Report, The Planning Partnership, December 2021 and related plans and reports.

#### **2.4.3.2 New Development - Design Approach**

To ensure that the unique heritage character of the Downtown is reflected in new development, the Township shall carefully review the general design of all new buildings and structures through the site plan approval process. The Township will seek to ensure through this process development which reflects the general design policies in Section 2.4.2 and the directions in the Downtown Revitalization Strategic Plan & Action Plan, March 2022 and the Downtown Uxbridge Public Consultation and Visualization Report, The Planning Partnership, December 2021 and related plans and reports. In particular, the Township shall seek to ensure development where:

- i) the scale and massing of new construction is consistent with surrounding buildings to ensure a visual connection;
- ii) the existing building set back from the street line is generally maintained throughout the Main Central Area, particularly on Brock, Toronto and Main Streets;
- iii) pedestrian oriented uses which are non-residential uses, particularly retail and service commercial uses and institutional uses, with windows, doors and active internal spaces that contribute to the activity and vibrancy of Downtown, shall generally be required to locate in the Main Central Area at grade level on Brock, Toronto and Main Streets at grade level;;
- iv) cultural heritage buildings and structures, whether designated or not, are preserved and renovated, rather than being demolished and incorporated into new developments where feasible, in addition the distinct characteristics of heritage buildings should be considered in the design of new buildings; and,
- v) Landmark buildings should be located at corner locations in the Downtown including along Brock Street, and particularly at the intersection of Toronto Street and Brock Street, the historic four corners;
- vi) Taller buildings shall be stepped back to create a consistent pedestrian scaled street wall; and,
- vii) Transition should be provided to taller, larger buildings.

#### **2.4.3.3 Public Amenities**

The Township will work with the Business Improvement Area to implement the directions in the Downtown Revitalization Strategic Plan & Action Plan

which will enhance the public amenities of the area as a whole, including the Main Central Area such as a coordinated street furniture, banners, lighting and signage program; a strategy for the location of public art; and consideration of the creation of a central park or Town Square.

## 2.4.4 Gateways

### **2.4.4.1 Purpose**

The major entrances to the Urban Area shall be designed to recognize their role as “gateways” to the community. These areas establish for visitors and residents an image of the Urban Area which should reflect its natural heritage character and differentiate it from the surrounding rural environment.

### **2.4.4.2 Locations**

The major gateways to the Urban Area are designated on Schedule “B” to this Plan and located as follows:

- i) North: Main Street North
- ii) East: Brock Street East
- iii) South: Toronto Street
- iv) West: Brock Street West
- v) South-east: Reach Street

### **2.4.4.3 New Development**

New development in the Gateway Areas designated on Schedule “B” shall generally conform to the following guidelines:

- i) buildings and structures shall incorporate architectural, landscaping, and/or other features which emphasize the uniqueness of the Uxbridge Urban Area, particularly its natural and cultural heritage character;
- ii) parking areas shall be well landscaped and located to the side or rear of buildings in such a manner as to limit unattractive views of the parking areas; and,
- iii) heritage buildings should be preserved whenever possible or incorporated into new development.

#### **2.4.4.4 Public Features**

The Township shall incorporate features such as landscaping and signage in the road allowance to clearly identify these gateway areas. In particular, the Township shall:

i) North Entrance

The Township will work with the businesses and landowners in the lands in this gateway area to enhance existing landscaping in the road allowance and areas adjacent to the road allowance.

ii) East Entrance

The lands at this entrance are primarily undeveloped. As development proceeds the Township will ensure that the road allowance is reconstructed to an urban cross section with enhanced boulevards and landscaping. The Township will also encourage the location of public building(s) in this location as part of the creation of an enhanced entrance to the Urban Area.

iii) South Entrance

The Township will continue to work to enhance the streetscape of Toronto Street to reflect its “gateway” function.

iv) West Entrance

The Township has already established a public open space area at the northeast corner of Brock Street and the 6th Concession Road as a formal “gateway” feature. The Township will continue to develop this area to reflect its “gateway” function.

v) South-east Entrance

Development in this area will be primarily residential in character and shall be designed with enhanced landscaping as a transition from the adjacent open space and rural area.

### **2.4.5 External Building Design**

When considering, as part of site plan approval, the external design of buildings, the Township shall take into account all the policies of this Plan, particularly the policies of this Community Design Strategy. In addition, in evaluating the external design of buildings the Township shall be seeking design which:

- i) includes sustainable building practices such as the use of green roofs and solar panels and, in particular, buildings will be encouraged to be certified as LEED, Energy Star or other sustainable building certification system or equivalent;
- ii) in existing developed areas, particularly the Main Central Area and other older areas, complements the massing patterns, rhythms, character and context of the existing development, while recognizing that built form evolves over time and that new buildings should not necessarily replicate existing buildings;
- iii) clearly defines public and private spaces;
- iv) is accessible to all; and,
- v) is in scale with surrounding development.”

## 2.5 LAND USE STRATEGY

### 2.5.1 Purpose

The land use designations on Schedule “A” establish the general land use pattern for existing and future development in the Secondary Plan Area during the planning period. The policies for these designations are set out in this section. Development shall also conform with all the other policies of this Plan.

### 2.5.2 Community Structure

#### 2.5.2.1 Existing Community Structure

The land use designations and transportation system reflect the basic existing structure of the Urban Area which is comprised of the following key elements:

i) Commercial Structure

Commercial development in the Urban Area is consolidated within three major nodes:

- a) the pedestrian oriented traditional Downtown as designated on Schedule “A” including the Main Central Area focused on Brock Street, Toronto Street and Main Street and adjacent, related Mixed Use Special Policy Areas, Employment Areas, Mixed Use Areas, and Residential Areas, the character of which reflects related Park and Open Space Areas, Natural Hazard Areas and Environmental Constraint Areas;
- b) the large scale and highway oriented commercial uses and large scale mixed use development at the southern gateway in the Corridor Commercial Area focussed on Toronto Street (Regional Road Highway 47) in the south-west of the Urban Area, and;
- c) a mixed use area, including a significant commercial component, in the Brock St. Mixed Use Area at the eastern gateway north and south of Brock St. E. between Herrema Blvd. and the boundary of the Urban Area.

In addition, some limited commercial uses are found together with

residential and institutional uses in the Mixed Use Area on Main Street North in the area north of the Downtown designated on Schedule “A”. The Plan also provides for the potential for a mix of commercial, institutional and office uses on a site situated adjacent to the east-west road (Elgin Park Drive), the Natural Heritage System and a golf course. In addition, a local commercial area is identified on the south side of Reach Street, west of Testa Road.

The Township supports the maintenance and growth of a strong commercial structure in the Urban Area. To support the commercial structure, the development of retail uses along Toronto Street between Colborne Street south to the area designated Corridor Commercial shall not be permitted. This will encourage consolidated commercial areas and avoid random linear commercial development along the intervening sections of Toronto Street and Highway 47.

ii) Downtown

In addition to its role in the commercial structure of the Urban Area, the Downtown, focused on the Main Central Area, is the historic centre of the community including major public buildings such as the Town Hall and residential development. Reflecting the significance of residential development in this area, the Township, while still ensuring development is in keeping with the heritage context of this area, will establish a density target of 15 residential units per gross hectare in the Downtown.

Development shall contribute to the achievement of the Downtown Revitalization Strategic Plan & Action Plan as reflected in the following Vision Statement and supporting statements:

“Uxbridge features a vibrant and thriving downtown that is rich in history and recognized as an inclusive and accessible community.

1. The Downtown is a “Complete Community” that continually evolves to meet the emerging needs of the broader community.
2. The historic buildings display their original architectural features; and newer buildings, while more modern, are “sympathetic” to the heritage of the downtown.
3. Traffic flow, including parking, within the downtown embraces the importance of “Active Transportation” and minimizes the flow of heavy trucks.

4. There is a Town Square that acts as a an “Agora” and offers a year-round “Marche” for local residents, farmers, businesses and visitors.
5. The Downtown offers a range of residential opportunities that take into consideration accessibility requirements, economic factors and own and/or rent options.
6. The Downtown provides a wide range of amenities which offer unique shopping experiences while addressing the essential needs of residents. The promenade level is noted for thriving retail shops.
7. The Downtown is home to a range of culinary experiences in the forms of restaurants, cafes, bakeries, pubs, markets, etc.
8. Uxbridge is recognized as “The Trail Capital of Canada” and the downtown is an integral component of the trail system.
9. The Uxbridge Brook and Centennial Park provide a north-south focal point, to be enjoyed by residents and volunteers.
10. Visitor’s enjoyment of downtown Uxbridge’s extensive and diverse cultural and recreational offerings is enabled by access to local overnight accommodation.
11. Uxbridge’s reputation as an artistic community is evident throughout the Downtown, supporting many forms of artistic expression and incorporates “Viewable Art” in the public spaces.
12. The rear aspects of buildings offer a welcoming experience for residents, visitors using the parking lots and laneways found throughout downtown. A number of businesses provide rear entrances that are both attractive and accessible.”

iii) Natural Heritage System

A linked system of natural features, open space, parks and institutional areas.

iv) Residential Neighbourhoods

Existing and future residential areas which are primarily low density in nature and which include related uses such as parks and schools.

v) Employment Areas

The major employment areas for the Township are located in the rural area. However, specific sites are designated on Toronto Street South, Reach Street, Victoria Street and Dallas Street in the Urban Area.

vi) Rural/Agricultural Area

The rural area includes agricultural lands, private open space, rural estate development, a major institutional area (The former St. John's Training School) and portions of the Oak Ridges Moraine which are located outside the Urban Area.

vii) Hamlet Area

The Secondary Planning Area includes the Hamlet of Sandy Hook, which is primarily a residential community located north of the Urban Area.

viii) Transportation System

The Secondary Planning Area is served by a system of existing and proposed roads which connect the area together.

### **2.5.2.2 Growth Management Related Structural Elements**

The external boundary of the Uxbridge Urban Area on Schedules "A" through "L" is fixed for a minimum of ten years from December 16, 2004. It will be reviewed in accordance with the provisions of the Oak Ridges Moraine Conservation Act and the Greenbelt Act. However, no expansion or lot creation may occur where the boundary would encroach into lands designated "Natural Core Area" or "Natural Linkage Area" in the Oak Ridges Moraine Conservation Plan and the Durham Regional Official Plan. Urban boundary expansion may also not encroach into the "Greenbelt Natural Heritage System" of the Greenbelt Plan and the Durham Regional Official Plan. Further, any boundary expansion shall only be considered as part of a municipal comprehensive review.

The following structural elements form the basis for the Township's growth management strategy for the Urban Area.

i) Built Boundary

Schedule “D” identifies the “Built Boundary” as determined by the Province. Lands within the boundary are considered to be those parts of the Township that are already developed as of June 2006. Any development within the Built Boundary is considered intensification and contributes to the intensification target in Section 2.5.2.3 of this Plan.

ii) Designated Greenfield Areas

The lands between the Built Boundary and the Urban Area Boundary as designated on Schedule “D” are considered “designated greenfield areas”. These are lands which are largely undeveloped. Development in these areas is required to contribute to the achievement of the minimum designated greenfield area density target in Section 2.5.2.3 of the Plan. In addition, development in these areas will be planned, zoned and designed to contribute to the creation of a complete community, including design which supports active transportation and transit, and provides for a mix of land uses and high quality public open spaces as appropriate in the overall context of the Urban Area.

iii) Intensification Areas

Intensification areas which shall be developed in accordance with all the applicable policies of this Plan include:

- a) Lands designated as “Main Central Area”, “Corridor Commercial Area”, “Mixed Use Area” and “Brock St. Mixed Use Area” on Schedule “A”;
- b) Lands designated as “Employment Areas” on Schedule “A”;
- c) Unique Sites, which are primarily institutional uses, where significant existing land uses seek to redevelop in accordance with the applicable policies of this Plan; and,
- d) Other vacant or underutilized sites, in particular larger, undeveloped properties in areas designated “Residential Area” not located in “Established Residential Areas” or in “Employment Areas”.

iv) Established Residential Areas

Established Residential Areas” consist of existing residential neighbourhoods where intensification potential would be modest and incremental in accordance with the policies of Section 2.5.5.3.1.

v) Main Central Area

The Main Central Area is designated as a Regional Centre and will function as the main concentration of urban activities within the Urban Area, providing a fully integrated array of land uses which complements the main street and pedestrian character of existing development.

### **2.5.2.3 Growth Management Strategy**

In accordance with the Durham Regional Official Plan:

- i) The population forecast for the Urban Area to the year 2031 is 16,480.
- ii) The Township’s housing mix target shall be established by the Region.
- iii) The employment forecast for the Township for the planning period is 8,970 jobs. The Township will strive to accommodate a significant percentage of these jobs in the Urban Area recognizing the limited amount of available land for employment uses.
- viii) In the Township’s designated greenfield area in the Urban Area, the density target is a minimum of 50 persons and jobs per hectare subject to the servicing and phasing policies of this Plan. This target is not intended, however, to be considered a minimum target on every parcel of land. In addition, increases in density for individual developments which conform to the other policies of this Plan shall be permitted.
- ix) The Region’s intensification target for the Uxbridge Urban Area for 2031 is 1,042 new residential dwelling units to be provided within the Built Boundary. The Township will consider development commencing in 2010 as contributing to this target.. Intensification proposals which exceed this target shall be permitted provided they conform with all the applicable policies of this Plan.
- x) To achieve the Town’s intensification target, the Town shall implement the following Intensification Strategy:

- a) Establish through this Plan and in the zoning by-law, minimum density requirements for development in identified intensification areas;
  - b) Permit limited intensification within Established Residential Areas of a scale and built form that reflects the surrounding area ,subject to the criteria of Section 2.5.5.3.1;
  - c) Encourage the creation of accessory apartments within residential areas subject to the policies of Section 2.5.3;
  - d) Review existing zoning regulations and other development standards to remove barriers to intensification including parking standards and setback requirements, while still ensuring that new development respects the scale and built form of the surrounding area and conforms with the policies of this Plan;
  - e) Consider, based on the financial resources of the Town, the potential for reducing development charges and other Town fees for intensification projects;
  - f) Utilize the bonusing provisions of the Plan and other mechanism such as pre-zoning to encourage intensification;
  - h) Prohibit applications which result in the downzoning of sites which permit medium and high density housing; and,
  - i) Monitor intensification rates in relation to the Township's intensification target, including the collection of building permit information that indicates the number of residential units and non-residential floor space developed in the Built Boundary on an annual basis.
- vii) The Township shall ensure that the coordination of planning for, and investment in, infrastructure and public service facilities with land use planning is maximized to meet current and projected needs in an efficient and cost-effective manner. A review of current processes and procedures will be undertaken to implement this direction, together with regular monitoring.

### **2.5.3 Land Uses Permitted in All Designations**

The following land uses shall be permitted in all land use designations in the Uxbridge Urban Area Secondary Plan Area, except for the Natural Hazard Area overlay designation, Environmental Constraint Area designation and Environmental Potential Area overlay designation where the policies of Sections 2.3.2, 2.3.3 and 2.3.4 of this Plan are applicable:

- i) Stormwater management facilities and related uses;
- ii) Forestry Uses;
- iii) Fish, wildlife and conservation management uses;
- iv) Archaeological activities;
- v) Legally existing uses, buildings and structures;
- vi) Replacement of legally existing uses, buildings and structures, as well as additions and modifications to existing uses, buildings and structures subject to the regulations of the zoning by-law and the provision of required sewer and water services;
- vii) Non-intensive recreation uses such as nature viewing and pedestrian trail activities;
- viii) Watershed management and flood and erosion control projects carried out or supervised by a public authority;
- ix) Public uses which include facilities for the federal, provincial or municipal government, in the Urban Area boundary, although uses which are considered “sensitive” such as hospitals and schools are discouraged from locating in Employment Areas; and,
- x) Community gardens.

The land uses in Table 2.3 shall also be permitted in all land use designations, except for the Natural Hazard Area overlay, Environmental Constraint Area and Environmental Potential Area overlay designations subject to the specific conditions identified in Table 2.3. In addition, where lands are located within the Oak Ridges Moraine Conservation Plan Area or the Greenbelt Plan Area, the policies of the Oak Ridges Moraine Conservation Plan or the Greenbelt Plan respectively are applicable.

<b>Table 2.3</b>	
<b>Land Uses Permitted in All Designations Subject to the Provisions of Section 2.5.3 and this Table</b>	
<b>Land Use</b>	<b>Related Conditions</b>
i) Home Occupations/Home Businesses and Bed and Breakfast Establishments	Home occupation/home business uses and bed and breakfast establishments shall be permitted in residences in accordance with the regulations of the zoning by-law and the following policies: a) the home occupation/home business or bed and breakfast use is clearly secondary to the residential use of the property; b) the property is the principal residence of the person operating the use; c) adequate parking can be provided; d) the use may be subject to site plan control if required by the Township; and, e) bed and breakfast establishments are located only in single detached dwellings.
ii) Group Homes	Group homes in residential areas subject to the provision of any required sewer and water services and the regulations of the zoning by-law including: a) distance separation regulations; b) lot size, yard and landscaping requirements; and, c) parking.
iii) Second Residential Units	A second residential unit shall be permitted in accordance with the provisions of Section 1.8.3.
iv) Accessory Uses	Accessory uses subject to the regulations of the zoning by-law.
v) Utility Uses	Utility uses, subject to regulatory requirements such as the provisions of the Environmental Assessment Act or the requirements of various, applicable regulatory bodies, provided that the Township shall encourage the placement of such utilities underground wherever feasible.
vi) Day nursery uses	Day nursery uses subject to the provision of municipal sewer and water services and the regulations of the zoning by-law.
vii) One single detached dwelling on an existing lot of record	One single detached dwelling shall be permitted on a lot of record subject to the provision of required sewer and water services and the regulations of the zoning by-law, with the exception of a lot in the Natural Hazard Area overlay designation or Environmental Constraint Area designation which shall be subject to the policies of the Plan for that designation.
viii) Granny Flats/Garden Suites	Granny Flats/Garden Suites are permitted as temporary uses in residential areas subject to a rezoning on lots which can provide adequate parking and buffering from adjacent uses
ix) Home industry uses	Home industry uses in accordance with the regulations of the zoning by-law outside the Urban Area boundary.

## 2.5.4 Housing

- i) The Township encourages the provision of a range of housing types, size and tenure within the Urban Area to meet the varied need of the present and future residents, including affordable housing. In particular, the Township will strive to achieve the housing unit allocation and minimum targets for the Uxbridge Urban Area in the Durham Regional Official Plan while recognizing the servicing limitations of the community and the physical potential of the housing stock.
- ii) The Township discourages the demolition of existing rental housing or conversion of existing residential rental housing to condominium tenure. However, the Township may consider such conversion provided the requirements of the Durham Regional Official Plan are met.
- iii) The Township recognizes the need to protect the viability of the community by ensuring that there is a healthy supply of affordable rental and ownership housing which contributes to a community characterized by inclusiveness. The Township shall encourage the provision of affordable housing in conformity with the policies of the Durham Regional Official Plan which require at least 25% of all new residential units in each area municipality to be affordable to low and moderate income households, in accordance with its financial capabilities and recognizing the servicing limitations of the community by:
  - a) streamlining the approvals process to “fast track” applications where the applicant is committed to providing affordable rental and ownership housing;
  - b) considering, based on the financial resources of the Township, the potential for reducing development charges and other Township fees for affordable housing projects;
  - c) working with the Region of Durham and non-profit groups to raise community awareness and acceptance of housing across the housing continuum, as well as of programs available to assist in the rehabilitation of existing units.
  - d) monitoring initiatives by the Federal and Provincial governments related to the provision of affordable housing and participating in such programs as appropriate, or providing support to the County or other groups who wish to participate as appropriate;
  - e) encouraging the use of restrictive covenants or other mechanisms for affordable housing units which ensure that they remain affordable in the long term; and

- f) encouraging the creation of accessory apartments.

## **2.5.5 Residential Area**

### **2.5.5.1 Purpose**

The Residential Area designation on Schedule “A”:

- i) recognizes established residential areas and ensures that new uses are generally compatible with the existing structure and character of these areas; and,
- ii) provides for the creation of new residential areas.

### **2.5.5.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) low density residential including single detached, single detached link, semi-detached and duplex dwellings;
- ii) medium density residential including townhouse dwellings, low rise apartments and stacked townhouses; and,
- iii) public parks.

### **2.5.5.3 Land Use Policies**

#### **2.5.5.3.1 Established Residential Areas**

Established residential areas are neighbourhoods where potential new development or redevelopment is limited. Applications for new development in such areas shall be evaluated based on an assessment of whether the proposal can generally maintain or enhance the following elements of the structure and character of the surrounding residential area:

- i) scale of development with respect to height, massing and density of adjacent buildings and structures;
- ii) nature of the streetscape as defined by such elements as landscaped areas, and the relationship between the public street, front yards and primary entrances to dwelling units;

- iii) relationship between the rear wall of buildings and rear yard open spaces;
- iv) siting of buildings in relation to abutting properties ensures that there will be no significant adverse impacts with respect to loss of privacy and shadowing, and that appropriate buffering can be provided;
- v) generally respects the residential lotting pattern in the immediate surrounding area;
- vi) proposed grading and stormwater management is satisfactory to the Township and, in particular, there is no impact related to these factors on adjacent properties;
- vii) development is on a public or condominium road;
- viii) any proposed roads are adequate to accommodate all relevant public services including emergency services and garbage collection;
- ix) protection of trees and other natural features identified as significant by the Township, in consultation with the Conservation Authority;
- x) does not restrict or prevent the orderly development of adjacent properties; and,
- xi) design of the development conforms with the policies of Section 2.4, Community Design and enhances the immediate surrounding area.

### **2.5.5.3.2 New Residential Areas**

In new residential areas or significant redevelopment areas, applications for development shall be evaluated based on their conformity with the policies of the Plan, particularly Section 2.4, Community Design Strategy, and the following criteria:

- i) the development incorporates the Urban Area's Natural Heritage

System as designated on Schedules “A” and “B”, and additional parkland where there are no significant Environmental Constraint Areas, as a focal point for the residential development, and a structural element which defines the character of the area, including the provision of significant view corridors into lands which form part of the System, and where possible direct public access;

- ii) medium density residential uses are:
  - a) intermixed with low density development in small groups;
  - b) primarily street oriented in design; and,
  - c) located adjacent to collector and arterial roads, park and open space areas, community facilities and/or commercial areas.

#### **2.5.5.3.3 Density**

The minimum permitted density shall be 15 units per net hectare (6 units per net acre), with a maximum density of 25 units per net hectare (10 units per net acre). However, limited areas of medium development shall be permitted in accordance with the provisions of Section 2.5.5.3.2 with a minimum density of 25 units per net hectare (10 units per net acre) to a maximum density of 35 units per net hectare (14 units per net acre). Net density shall be defined as the area of the site and one half the area of any abutting local road.

#### **2.5.5.3.4 Height**

The maximum height for residential development shall be three storeys.

#### **2.5.5.4 Exceptions**

##### **2.5.5.4.1 62 Mill Street**

Notwithstanding any other policies of this section, any redevelopment of the property at 62 Mill Street, shall conserve the existing dwelling. In addition, such a redevelopment will be designed to complement the character of existing dwelling and uses on adjacent lots. As a basis for evaluation of such a proposal, the Township shall require the submission of elevations and computer models, as well as the plans required by Section 2.7.4 ii), and any other relevant information in accordance with the provisions of Section 2.7 which demonstrates that the proposed development satisfies the relevant policies of this Plan, particularly Section

2.4.

#### 2.5.5.4.3 **120 Toronto Street**

Notwithstanding the policies of Section 2.5.5 Residential Area, on those lands legally described as Lot 3, Municipal Plan 83, municipally known as 120 Toronto Street South, a medical or dental clinic and professional offices with the option for a residential unit on the second floor of the building shall be permitted in addition to the uses permitted in the Residential Area designation, provided the new uses are limited in scale and are compatible with adjacent land uses. Any development on the lands shall be subject to a zoning by-law amendment and execution of a Site Plan Development Agreement.

#### 2.5.5.4.4 **Cemetery Road Neighbourhood Policy Area**

##### **i) Vision**

The Cemetery Road Neighbourhood should be maintained, and where possible enhanced, as a low density residential community with a sylvan character consisting of single detached dwellings on large, well landscaped lots which is developed in harmony with its natural heritage system.

##### **ii) Policy Directions**

###### **a) Purpose**

The Cemetery Road Neighbourhood Policy Area designation on Schedule "A" recognizes an established low density residential neighbourhood and provides direction with respect to future development in keeping with the Vision for the community.

###### **b) Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- single detached dwellings
- cemetery uses and related buildings and structures;
- accessory buildings and structures; and,
- public parks and other public uses and related buildings and structures.

###### **c) Land Use Policies**

Applications for new development or redevelopment. and proposals for

public infrastructure, shall be evaluated based on an assessment of the proposal in the context of the Cemetery Road Neighbourhood. The assessment will address how the development/infrastructure project maintains and/or enhances the character of the area in keeping with the Vision for the Neighbourhood. In particular, consideration will be given to the cumulative impacts of development/infrastructure project. Further, the evaluation will consider not just the development site or project area itself, but the impacts on the immediate surrounding lands and the Neighbourhood as a whole and the provision of trail and other pedestrian and bicycle connections.

The Township shall generally require residential development to meet the following criteria:

- The appropriate lot frontage shall be determined after a comprehensive evaluation in accordance with the 2.5.5.4.4 Cemetery Road Neighbourhood Policy Area. The minimum permitted lot frontage shall be 15 meters, with the exception of 153 Cemetery Road given its location which may be considered for a maximum of three lots;
- Maximum dwelling height of 2.5 storeys;
- Landscaping which maximizes the protection of existing trees and the planting of native trees, shrubs and other plantings, particularly in the front yard and the public road allowance to enhance the sylvan character of the streetscape;
- Location of a trail connection on the site where a linkage to the existing or proposed Township trail system is feasible and deemed appropriate by the Township;
- Driveways which are minimized and generally do not exceed 6 metres in width; and,
- Minimum front yard depth where feasible of 8 metres.

In exceptional circumstances on lots which 40,000 square metres in area, the Township may consider applications for development which are designed to maximize the protection of natural and hydrologic features and functions and existing trees both on the lot, including lands designated for development and Environmental Protection, and in the public road allowance. The location of a trail connection should also be considered. This objective may be achieved through a range of approaches such as the clustering of development including single detached, semi-detached and townhouse dwellings, and the use of reduced development standards including private roads.

To provide for a comprehensive assessment of any application, the Township shall generally require, where applicable, submission of the

following studies, and any other studies identified in accordance with Section 3.16, Development Application Pre-Consultation and Submission Requirements. However, the studies and their scope will be determined by the Township through the pre-consultation process, which shall be required prior to submission of any development application, in accordance with the nature of the proposed development:

- Planning Justification Report which addresses conformity with Provincial, Regional and Township planning policy including the relevant policies of Section 2.4, Community Design, and Section 2.5.5.3.1, Established Residential Areas of the Township Official Plan and which will provide plans of the proposed development including building elevations which also illustrate the relationship to adjacent existing buildings and structures;
- Environmental Impact Study prepared in accordance with Terms of Reference established by the Township;
- Tree Preservation Plan to address tree conservation and landscaping plans which maximize the retention of existing trees and for new plantings the use of native trees, shrubs and other vegetation;
- Functional Servicing Report prepared in accordance with Terms of Reference established by the Township;
- Archaeological Assessment;
- Hydrogeological Study, including water balance;
- Landform Conservation Plan; and,
- Traffic Study.”

## **2.5.6 Residential Area - Higher Density**

### **2.5.6.1 Purpose**

The Residential Area - Higher Density designation on Schedule “A”:

- i) recognizes established high density residential areas; and,
- ii) provides for the creation of new high density residential areas in locations which meet specific locational criteria.

### **2.5.6.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) medium density residential including townhouse dwellings, low rise apartments and stacked townhouses; and,

- ii) higher density residential including apartments.

### **2.5.6.3 Land Use Policies**

#### **2.5.6.3.1 Applications for New Development**

Applications for new higher density residential development, including proposals which incorporate high and medium density uses, shall require an official plan amendment which shall be evaluated based on their conformity with the policies of the Plan, particularly Section 2.4, Community Design Strategy, and the following criteria:

- i) the development incorporates wherever possible the Urban Area's Natural Heritage System as designated on Schedule "B" or other open space features as a focal point for the residential development, and a structural element which defines the character of the site, including the provision of significant view corridors into lands which form part of the System, and where possible direct public access;
- ii) the site and design of the development in relation to abutting properties ensures that there will be no significant adverse impacts with respect to loss of privacy and shadowing, and that appropriate buffering can be provided; and,
- iii) the proposed residential uses are:
  - a) primarily street oriented in design;
  - b) located with direct access to collector and arterial roads and preferably at an intersection with a local or other road; and,
  - c) located adjacent to park and open space areas, community facilities and/or commercial areas.

#### **2.5.6.3.2 Density**

The maximum density for residential development in the Residential Area - Higher Density designation shall be 65 units per net hectare (26 units per net acre), while the minimum permitted density shall be 35 units per net hectare (14 units per net acre). Net density shall be defined as the area of the site and one half the area of any abutting local road.

#### **2.5.6.3.3 Height**

The maximum height for residential development in the Residential Area - Higher Density designation shall generally be four storeys.

#### **2.5.6.4 Exceptions**

##### **2.5.6.4.1 Northwest Quadrant Brock Street East and Herrema Boulevard**

Notwithstanding the provisions of Section 2.5.6 Residential Area – Higher Density, the lands in the northwest quadrant of Brock Street East and Herrema Boulevard south of Low Boulevard may be developed for up to 59 dwelling units provided underground parking is provided in the development.

### **2.5.7 Evolving Neighbourhood Area**

#### **2.5.7.1 Purpose**

The Evolving Neighbourhood Area designation on Schedule “A” recognizes lands which may be developed for major new residential development when approval is granted for site specific development through plan of subdivision/condominium, zoning by-law amendments and/or site plan approval and sewage and water servicing capacity is available.

#### **2.5.7.2 Permitted Uses, Building and Structures**

The permitted uses, buildings and structures are:

- i) low density residential including single detached, single detached link, semi-detached and duplex dwellings;
- ii) medium density residential including townhouse dwellings, low rise apartments and stacked townhouses; and,
- iii) public parks.

#### **2.5.7.3 Land Use Policies**

##### **2.5.7.3.1 Development Policies**

Applications for development shall be evaluated based on their conformity with the policies of the Plan, particularly Section 2.4, Community Design Strategy, and the following criteria:

- i) the development incorporates wherever possible the Urban Area's Natural Heritage System as designated on Schedule "B" and additional significant related parkland as a focal point for the residential development, and a structural element which defines the character of the area, including the provision of significant view corridors into lands which form part of the System and where possible direct public access;
- ii) development on the lands between the 6th Concession Road and Centre Road incorporate substantial open space areas as a focal point for residential development in recognition of the limited natural areas this area contains;
- iii) medium density residential uses are:
  - a) intermixed with low density development in small groups;
  - b) primarily street oriented in design; and,
  - c) located adjacent to collector and arterial roads, park and open space areas, community facilities and/or commercial areas.

#### **2.5.7.3.2 Density**

The minimum permitted density shall be 15 units per net hectare (6 units per net acre), with a maximum density of 25 units per net hectare (10 units per net acre). However, limited areas of medium density development shall be permitted in accordance with the provisions of Section 2.5.5.3.2, to maximum density of 35 units per net hectare (14 units per net acre).

#### **2.5.7.3.3 Height**

The maximum height for residential development shall be three storeys.

### **2.5.8 Institutional Area**

#### **2.5.8.1 Purpose**

The Institutional Area designation on Schedule "A" is designed to recognize institutional uses, and related uses, and to provide criteria to evaluate any proposals to redevelop such sites.

#### **2.5.8.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) institutional uses including hospitals, schools or other significant educational facilities, places of worship and supportive housing;
- ii) service, retail commercial, residential, office and/or other uses which are related to the institutional uses including a residential unit for a manager or caretaker for the operation;
- iii) park and recreation uses; and,
- iv) residential or mixed use developments unrelated to any institutional uses subject to the policies of Section 2.5.8.3.2.

### **2.5.8.3 Land Use Policies**

#### **2.5.8.3.1 Applications for New Uses**

Applications for approval of new uses in the Institutional Area designation or an amendment to the Plan for a new Institutional Area designation, shall be evaluated based on their conformity with the policies of the Plan, particularly Section 2.4, Community Design Strategy, and the following criteria:

- i) the development maximizes the role of the site as a component of the Urban Area's Natural Heritage System as designated on Schedule "B" whenever possible, in accordance with the policies of Section 2.3.8 of this Plan;
- ii) the proposed uses, buildings and structures are of a size and scale which can be appropriately integrated with the character of the adjacent area, particularly any low density residential areas;
- iii) the site and design of the development in relation to abutting properties ensures that there will be no significant adverse impacts with respect to loss of privacy and shadowing, and that appropriate buffering can be provided;
- iv) the proposed uses are:
  - a) primarily street oriented in design; and,
  - b) located with direct access to collector and arterial roads or major local road and preferably at an intersection with a local

or other road; and,

- c) located adjacent to park and open space areas, community facilities and/or commercial areas.
- v) maximum height of four storeys; and,
- vi) maximum floor space index of 1.0.

#### **2.5.8.3.2 Modifications to Existing Institutional Uses**

- i) Where an existing institutional use is proposed to be expanded, or closed and replaced with a new institutional use, the Township will work with the existing and/or new institutional use to ensure that any changes to the site are designed to be in character with the surrounding uses and the requirements of Section 2.5.8.3.1.
- ii) Where an existing institutional use is being closed, and the lands are not acquired by the Township or other public agency, alternative uses shall be permitted in order of priority as follows:
  - a) other compatible institutional uses including park and recreation uses;
  - b) low and medium density residential uses in accordance with the policies of Section 2.5.5 and subject to availability of municipal water and sewerage services, an amendment to the zoning by-law and approval of a plan of subdivision or a site plan in accordance with the requirements of the Planning Act; and,
  - c) higher density residential uses, including commercial uses on the ground floor where the buildings is located on an arterial road, subject to the criteria of Sections 2.5.6.3.1 i), ii) and iii, 2.5.6.3.2 and 2.5.6.3.3, availability of municipal water and sewerage services, an amendment to the zoning by-law and approval of a site plan in accordance with the requirements of the Planning Act.

All other uses shall require an Official Plan amendment.

- iii) Notwithstanding any other policies of this section, where the existing institutional property is of cultural heritage interest, and is identified on the Township's Heritage Register, the Township shall consider any new development or redevelopment in the context of

the Heritage Act, and where justifiable, shall seek to incorporate the cultural heritage features including buildings and structures into the new development.

#### **2.5.8.4 Exceptions**

##### **2.5.8.4.1 Part Lot 27, Concession 6, Plan 40R-8540 Cemetery Road**

Notwithstanding the policies of Section 2.5.8.2, a building containing personal service and office uses shall be permitted in the Institutional Area designation at the northwest corner of Toronto Street and Cemetery Road. In addition, a seniors supportive housing development shall be located in the Institutional Area designation on the west side of Cemetery Road. This development shall be permitted provided that:

- i) The buildings and sites shall be designed to the highest standards of urban design and sustainable development recognizing their location at the southern gateway to the Urban Area on the Oak Ridges Moraine and adjacent to a number of environmental features. The design of the development shall reflect all the applicable policies of Section 2.4, Community Design Strategy of this Plan, including Section 2.4.4.3 i). In addition, the location and design of the parking areas shall ensure that their impact on Toronto Street is minimized as much as possible;
- ii) The personal service/office building shall be a minimum of two storeys in height, with a minimum gross floor area of approximately 470 square metres;
- iii) The seniors supportive housing building shall a minimum of three storeys and a maximum of four storeys in height, with a minimum first phase of development in the order of 120 suites. In addition, the lands outside the Urban Boundary which form part of this site shall be viewed as an integral part of this development providing low intensity recreational opportunities for the residents and any application for consent for the lands outside the Urban Boundary shall comply with this understanding and the policies of the Oak Ridges Moraine Conservation Plan.

### **2.5.9 Park and Open Space Area**

#### **2.5.9.1 Purpose**

The Park and Open Space Area designation recognizes existing public parks and open space areas which provide a full range of active and passive recreation facilities to serve the residents of the Urban Area and the Township.

### **2.5.9.2 Permitted Uses, Buildings and Structures**

The permitted uses, and related buildings and structures are recreation and open space including related buildings and structures such as playground equipment, indoor and outdoor swimming pools, arenas, wading pools, tennis courts, baseball diamonds, soccer fields, and concession stands.

### **2.5.9.3 Land Use Policies**

- i) The Township shall continue to maintain and enhance the recreation and open space facilities in the existing parks in accordance with the standards established in Section 2.3.6.2 of this Plan, the Township's Cultural and Recreation Master Plan and the master plans for specific parks.
- ii) The Township shall consider the development of additional parks on the designated sites on Schedule "A" and other appropriate sites which may become available and shall ensure that the design of such parks minimizes incompatibilities with abutting residential uses and environmental areas. The role of any future parks shall be considered in the context of the Natural Heritage System as a whole and the related policies of Section 2.3 of this Plan.

## **2.5.10 Natural Hazard Area**

The lands in the Natural Hazard Area designation, on Schedule "A" shall be subject to the policies of Section 2.3.2 of this Plan.

## **2.5.11 Environmental Constraint Area**

The lands in the Environmental Constraint Area designation on Schedule "A" shall be subject to the policies of 2.3.3 of this Plan.

## **2.5.12 Cemetery Area**

The lands in the Cemetery Area designation on Schedule "A" shall be subject to the policies of 2.3.9 of this Plan.

## **2.5.13 Prime Agricultural Area**

### **2.5.13.1 General**

The lands in the Prime Agricultural Area designation on Schedule “A” shall be subject to the relevant policies of Section 9, and in particular 9A, of the Durham Regional Official Plan.

### **2.5.13.2 Exception**

#### **2.5.13.2.1 Part Lot 35, Concession 7, Former Uxbridge Township, 333-335 Main Street North**

Notwithstanding the policies of the Durham Regional Official Plan, the portion of the former St. John's Training School (now known as the Kennedy House lands), Part Lot 35, Concession 7, 333-335 Main Street North in the Prime Agricultural Area designation outside the Natural Hazard Area overlay designation and Environmental Constraint Area designation, may be used for a range of public service facilities such as sports fields and other outdoor recreation uses, arenas, museums and community centres, as well as accessory and ancillary uses.

## **2.5.14 Major Open Space Area**

The lands in the Major Open Space Area designation on Schedule “A” shall be subject to the relevant policies of Section 10A, of the Durham Regional Official Plan.

## **2.5.15 Main Central Area**

### **2.5.15.1 Purpose**

The Main Central Area shall function as the main concentration of urban activities within the Urban Area, providing a fully integrated array of community, office, service and shopping, recreational and residential uses. The Main Central Area shall also function as a place of symbolic and physical interest for Township residents and provide identity to Uxbridge. The boundary of the Main Central Area is indicated on Schedule “A”.

### **2.5.15.2 Permitted Uses, Buildings and Structures**

- i) The Township shall support improvements and redevelopment in the Main Central Area to maintain this area as the most diverse

focus of activity and use in the Urban Area. The Township encourages rehabilitation, redevelopment and new development that strengthens the Main Central Area as a location for a range of retail, office, service and other commercial uses, along with governmental, institutional, residential and community uses.

- ii) The Main Central Area is the traditional centre of Uxbridge and is the most compact urban area in the Urban Area. The Township encourages new development to complement the main street and pedestrian character of existing development in the Main Central Area through scale, appearance and character of new buildings and development.

### **2.5.15.3 Planned Function Impacts**

In considering new or expanded retail development elsewhere in the Township, the Municipality shall maintain the planned function of the Main Central Area. To maintain the economic vitality and community focus role of the Main Central Area, the Township will set limitations on the amount and type of retail and service uses located outside the Main Central Area.

### **2.5.15.4 Land Use Policies**

#### **2.5.15.4.1 Existing Residential Structures**

The Main Central Area contains many existing residential structures that are part of the heritage and architectural character of the Uxbridge community. The Township encourages the adaptive reuse of existing residential structures for commercial and service uses in the Main Central Area, especially within one block of Main Street, Toronto Street and Brock Street. The Township may pass zoning by-laws in the Main Central Area to permit the conversion of existing residential structures to business and commercial uses such as offices, restaurants, and art galleries, provided the external appearance and scale of the residential structure is maintained. In passing such zoning by-laws, the Township shall have regard for the compatibility of the use with residential neighbourhoods and ensure that adequate parking is provided by the commercial use.

#### **2.5.15.4.2 New Development**

- i) Where it is not possible to utilize existing buildings and structures, and new development or redevelopment is proposed, such development shall complement the main street and pedestrian character of existing development in the Main Central Area through scale, appearance and character of new buildings and development as noted in Section 2.5.15.2 ii) and Section 2.4.3.2. In particular,

such development shall generally conform with the following criteria:

- a) Pedestrian oriented uses which are non-residential uses, particularly retail and service commercial uses and institutional uses, with windows, doors and active internal spaces that contribute to the activity and vibrancy of the Downtown, shall generally be required to locate on Brock, Toronto, and Main Streets at grade level;
  - b) Parking shall be prohibited in front of the main building;
  - c) Buildings and structures shall have a minimum height of two storeys and a maximum height of six storeys; However, eight storeys may be permitted in key areas such as at intersections with Brock and Toronto Street including the original four corners, subject to a detailed design review and an amendment to the Zoning By-law. Further, final maximum building heights for any site shall be determined through the Site Plan Approval process based on evaluation of proposed development to ensure that buildings are transitioned in height and scale to respect neighbouring development, particularly heritage buildings, while providing for intensification at corner and gateway locations along the Toronto and Brock Street Corridors. Minimum building setbacks and stepbacks and other design parameters will be established through the Zoning By-law and/or the Site Plan Approval process to ensure appropriate transitioning, and adequate sunlight and sky views are maintained for surrounding streets, parks, open space areas and neighbouring properties. In addition, building setbacks will relate to adjacent roads, while allowing sufficient space for a comfortable pedestrian zone and landscaping opportunities;
  - d) Buildings and structures shall have a maximum floor space index of 3.5 and a minimum floor space index of 1.0; and,
  - e) Development shall be integrated with adjacent lands wherever feasible with respect to parking, landscaping and pedestrian and vehicular circulation systems and shall provide an appropriate interface with any adjacent residential uses.
- ii) New development shall be evaluated based on the submission of the following information, in addition to the requirements of Section

2.7:

- a) plans demonstrating how the development will be integrated with adjacent buildings and structures; and,
- b) perspective drawings of the proposed building(s).

#### **2.5.15.4.3 Downtown Enhancement**

The Township shall work with the Business Improvement Area, individual business owners, property owners, residents, public agencies and other interested groups to strengthen the Downtown, with a focus on the Main Central Area, through the implementation of the Downtown Revitalization Strategic Plan & Action Plan, and the Downtown Community Improvement Plan. These plans provide a common vision for the area, and direction on addressing the full range of issues including traffic, heritage, retail requirements, promotion, parking and signage.

### **2.5.16 Corridor Commercial Area**

#### **2.5.16.1 Purpose**

The Corridor Commercial Area provides a location for large scale and highway oriented commercial uses which are not appropriate in the Main Central Area because of the scale and/or character of the use. In addition, mixed use development may also be permitted in the Corridor Commercial Area.

#### **2.5.16.2 Permitted Uses, Buildings and Structures**

- i) Corridor Commercial Area, as designated on Schedule “A”, shall permit Special Purpose Commercial uses, large floor space retail outlets and retail and personal service uses in existing locations. In addition, employment uses shall be permitted on lands on the east side of Toronto Street in conformity with the policies of Section 2.5.16.3.3., Design and Section 2.5.19, Employment Area of the Plan.
- ii) Special Purpose Commercial shall mean uses serving specialized shopping needs on an occasional basis with facilities which consume larger parcels of land and require exposure to traffic such as, and similar in kind to, automotive sales and services, drive-in restaurants, motels, hotels, cinemas, lumber yards, furniture and major appliance sales.
- iii) The following non-commercial uses subject to the provisions of Section 2.5.16.3.5, in both single use and mixed use projects,

which may include the permitted commercial uses notwithstanding the provisions of Section 2.5.16.3.1 with respect to single user buildings:

- a) medium or higher density residential uses, including dwelling units above at-grade commercial development, with a minimum density of 35 units per net hectare (14 units per net acre) and a maximum density of 65 units per net hectare (26 units per net acre);
- b) office uses; and,
- c) institutional and non-profit uses.

Notwithstanding the foregoing, the Township, shall review the current zoning of the lands in the Corridor Commercial Area designation and update the zoning to reflect the results of the retail/commercial demand analysis, including restrictions on uses to limit uses which potentially could contribute to differentiating the Main Central Area from development in the Corridor. In addition, the Township shall review and refine the zoning regulations to limit uses such as drive-through facilities, which contribute to traffic congestion. However, all legal, existing uses shall continue to be permitted.

### **2.5.16.3 Land Use Policies**

#### **2.5.16.3.1 Size and Scale of Permitted Uses**

- i) New large floor space retail outlets on lands designated Corridor Commercial Area shall be in single user buildings with a minimum floor space of 1,000 square metres (10,764 sq. ft.). Proposals to amend the zoning by-law for large floor space retail outlets shall be accompanied by an analysis that confirms no unacceptable impact of the proposed uses on the planned function of the Main Central Area. The analysis shall be prepared by a qualified consultant hired by the Township, with the concurrence of the applicant and at the cost of the applicant, based on terms of reference approved by the Township and the applicant.
- ii) The Township in passing new zoning by-laws for lands designated Corridor Commercial Area, shall limit the development of new ancillary commercial retail development comprised of small retail units in association with or as part of large space single user retail development to 20% of the gross floor area of any large floor space retail outlet. The Township encourages this type of retail development to locate primarily in the Main Central Area or on existing appropriately zoned lands designated Corridor Commercial

- Area.
- iii) The Township may pass zoning by-laws permitting new retail development in buildings and retail units under 1,000 square metres (10,764 sq. ft.) for lands designated as Corridor Commercial Area Special Policy Sites 1, 2,3,4,5, and 6 on Schedule “E”, provided these sites are not consolidated through ownership or development. The Township may also consider zoning by-law amendments permitting new retail development in buildings and retail units under 1,000 square metres(10,764 sq. ft.) for other sites in the Corridor Commercial Area. However, the type, mix and size of such retail units shall be regulated through the zoning bylaw to ensure that they do not impact on the planned function of the Downtown, including retail, service commercial and personal service uses with a minimum size limit of 186 square metres (2,000 sq. ft.).

### **2.5.16.3.2 Traffic Studies**

The Township may require the proponents of new commercial development to submit a study which will address the traffic impact of the development with respect to matters such as but not limited to road operations, vehicular access requirements, and on-site vehicular circulation.

### **2.5.16.3.3 Design**

The Township shall require new Corridor Commercial development to follow good urban design principles including:

- i) Promoting an attractive welcome to Uxbridge along Highway No. 47 through new commercial development with distinctive buildings and attractive landscaping that contribute to a quality image for the community and sense of local identity.
- ii) Maintaining and integrating into new development, existing trees and wooded areas.
- iii) Developing buildings that display high quality in their design, building materials, facade treatments and contribute to the local identity and character of the Uxbridge community.
- iv) The creation of interesting and attractive edges along public roads through the positioning of buildings and the planting of trees along roads.

- v) Measures such as landscaping and other screening that minimize the visual impact of parking and servicing facilities.
- vi) Street oriented features such as canopies on buildings and the provision of distinctive landscaping and entrance treatments as part of commercial development.
- vii) Creating a presence on the road through positioning and grouping of buildings where commercial development consists of several buildings.

#### **2.5.16.3.4 Non-Commercial Development**

In addition to the permitted commercial development, office, higher density residential development and institutional uses in mixed use and single use projects may be approved in the Corridor Commercial Area designation provided that the Township is satisfied that proposed development satisfies the other relevant provisions of Sections 2.5.16.3 and:

- i) will contribute to the reduction of traffic congestion in the area when compared with commercial development, and in particular will not include any drive-through service facilities or vehicle service uses or outdoor storage or garden centre uses;
- ii) can be designed in a manner which is compatible with adjacent existing commercial and employment uses, as well as any on-site commercial development;
- iii) will enhance the environment for pedestrian movement and transit use and in particular shall have a well defined and articulated street edge, with a minimum of 50% of the frontages on any public road defined by a building edge, and no off-street parking or loading between the building and the street;
- iv) provides opportunities for coordinated vehicular access, site circulation, parking and site servicing with adjacent properties;
- v) has a minimum floor space index of 0.75 and a maximum floor space index of 2.0 which may be increased in accordance with the bonus provisions of Section 3.2.6 of this Plan;
- vi) has a minimum height of two storeys or a double height building in a single storey with minimum height of 6 metres (20 feet);
- vii) has a maximum height of four storeys; and,

- viii) shall be a development with a high quality design and landscape treatment.

### **2.5.16.3.5 Conditions of Approval**

Prior to the approval of any development in the Corridor Commercial Area which requires a Zoning By-law amendment, in addition to the requirements of Section 2.7, the Township shall require the submission of:

- i) elevations and computer models as well as the plans required by Section 2.7.4 ii), which demonstrate that the proposed development satisfies the requirements of Section 2.4 and this section;
- ii) noise and light studies which address compatibility issues, including any impacts on adjacent residential development on the west side of Toronto Street;
- iii) a traffic impact study; and,
- iv) a grading study and stormwater management plan.

Further, where the ultimate development is not proposed to be developed initially, the applicant shall be required to submit a detailed plan and program demonstrating how the ultimate density and other objectives for the site can be achieved. This plan will include the potential for decked or underground parking. The Township will utilize this plan to review the proposed development to determine if it is appropriate as an interim use. In particular, the Township will be satisfied that the proposed interim development can be easily intensified to achieve the ultimate development form without the demolition of the proposed buildings and structures.

### **2.5.16.4 Exceptions**

#### **2.5.16.4.1 Part Lot 27, Concession 6**

Notwithstanding any other policies of this section, and the fact that the subject lands are designated “Corridor Commercial Area”, the development of the lands described a Part of Lot 27, Concession 6, shall be designed to minimize the need to cut trees on the site, and the actual cutting of trees will occur only on lands which are required for development as established by the Township based on a review of the development application, a grading plan and a tree assessment and landscape study, including a tree preservation and planting plan, approved by the Township. Further, any development of the site shall be subject to

site plan approval under the Planning Act and the cutting of any trees shall only occur after a site plan agreement has been entered into.

#### **2.5.16.4.2 Part Lot 28, Concession 6, 224, 230, 236 and 242 Toronto Street South**

Development of the lands designated “Corridor Commercial Area” and described as Part Lot 28, Concession 6 and 224, 230, 236 and 242 Toronto Street South, shall be subject to the policies of Section 2.5.16.3. In addition, any development shall be subject to the following:

i) Permitted Commercial Uses, Buildings and Structures

The only permitted commercial uses shall be a food store with a floor area between 929 and 1,858 square metres (10,000 and 20,000 sq. ft.) including as an accessory use a seasonal outdoor garden centre, provided it is not located in the parking area if it occupies any required parking, and a drug store with a floor area between 929 and 1, 858 square metres (10,000 and 20,000 sq. ft.). In addition, the site is recognized as Corridor Commercial Special Policy Site 7 on Schedule “E” and retail and service commercial uses, personal service uses, and office uses with a maximum total floor area of 930 square metres (10,010 sq. ft.) are permitted provided such uses are located in a mixed use building with a minimum of one floor used for residential uses as permitted in subsection 2.5.16.4.2 ii) or the building is used in its entirety for office, personal service or service commercial uses. In addition, to minimize impacts on the Main Central Area, a minimum floor area of 279 square metres (3,000 sq. ft.) for individual retail and service commercial units will be established, and certain uses will be prohibited. Further, through the site plan control process, a date shall be established for the completion of construction of buildings and related facilities to accommodate all the foregoing permitted uses.

ii) Other Permitted Uses

In addition to the permitted commercial uses, higher density residential development shall be permitted in both mixed use projects with the permitted commercial uses, and single use projects. The permitted medium or higher density residential uses, including dwelling units above at-grade commercial development, shall have a minimum density of 35 units per net hectare (14 units per net acre) and a maximum density of 65 units per net hectare (26 units per net acre).

iii) Height and Density

Development shall be subject to the following general controls on height and density, in addition to the other policies of this section:

- a) Minimum floor space index for residential or mixed use development - 0.5;
- b) Maximum floor space index - 2;
- c) Minimum height - two storeys or a single storey building with minimum height of 6 metres (20 feet);
- d) Maximum height - three storeys, however, an increase to four storeys may be considered subject to the submission of a shadow study; and,
- e) Minimum floor space index where the site is developed only for retail and commercial uses, personal service uses and office uses – 0.22.

iv) Parking

The Township will consider reduced parking requirements where a mixed use development is proposed to reflect the potential for shared parking. The Zoning By-law shall establish minimum and maximum parking requirements.

Design Control

Prior to the approval of a zoning by-law amendment to permit any development, in addition to the requirements of Section 2.7, the Township shall require the submission of elevations and computer models as well as the plans required by Section 2.7.4 ii), which demonstrate that the proposed development satisfies the requirements of Section 2.4. The plans will include:

- a) measures to mitigate potential impacts on adjacent residential development, both existing and proposed, based on the recommendations of a noise impact study and a light impact study, and where required, a shadow study;
- b) development which provides for well defined and articulated street edges along Toronto St. S. including:
  - a significant portion of the frontage on Toronto St. S., in the order of 36%, shall be defined by a building edge, with no off-street parking or loading between

- the building and the street;
    - the establishment of minimum and maximum setbacks from the road allowance right-of-way for the location of buildings and structures required along this road; and,
    - screening of all loading and service areas from the view of adjacent roads and residential areas.
- c) garbage/recycling storage shall be within a wholly enclosed building;
- d) a detailed pedestrian circulation plan including substantive linkages between buildings and to the sidewalk which will be constructed along the Toronto St. S. frontage of the property;
- e) all buildings shall have high quality facade materials on all public frontages including:
  - the use of design features to animate the street frontage, in particular the use of significant glazing, including display windows which may have a wall behind them, on all public street edges, but, excluding false windows, and,
  - no single material blank walls fronting on public street edge;
- f) commercial buildings shall include multiple stories, or double height buildings in a single storey or a single storey with a high standard of design (i.e. step backs, clerestory windows).

### 2.5.17 Mixed Use Area

#### 2.5.17.1 Purpose

The Mixed Use Area designation recognizes an area on Main Street North where a mix of residential, commercial and institutional uses are found.

#### 2.5.17.2 Permitted Uses, Buildings and Structures

The permitted uses, buildings and structures are:

- i) commercial uses existing at the date of adoption of this Plan;
- ii) other small scale commercial uses where it can be demonstrated

that such uses cannot be located in the Main Central Area;

- iii) office;
- iv) residential, including medium density and higher density residential uses;
- v) institutional; and,
- vi) park and recreation uses.

### **2.5.17.3 Land Use Policies**

#### **2.5.17.3.1 Existing Residential Structures**

The Mixed Use Area contains a number of existing residential structures which are part of the heritage and architectural character of the Uxbridge community. The Township encourages the maintenance of all these structures for residential use or their adaptive reuse for office or commercial uses, particularly those with heritage or architectural character. The Township shall amend the zoning by-law to permit the conversion of existing residential structures to office and commercial uses provided the external appearance and scale of the residential structure is maintained.

#### **2.5.17.3.2 New Development**

- i) Where it is not possible to utilize existing buildings and structures, and new development or redevelopment is proposed, such development shall enhance the existing development in the Mixed Use Area through the scale, appearance and character of the new buildings and development. In particular, such development shall generally conform with the following criteria:
  - a) the development enhances the “gateway” function of the Mixed Use Area through factors such as site design and landscaping, including features such as heritage signage;
  - b) the development protects and enhances components of the Urban Area’s Natural Heritage System located on the site as designated on Schedule “B”, whenever possible, in accordance with the policies of Section 2.3.7 of this Plan;
  - c) the proposed uses, buildings and structures are of a size and scale which can be appropriately integrated with the

character of the Mixed Use Area, particularly any abutting low density residential uses;

- d) the proposed uses are designed to be oriented to Main Street North, with no parking areas located between the main building and the street unless there is no other option and significant design enhancements are provided to mitigate the impact on the streetscape;
- e) development shall be integrated with adjacent lands wherever feasible with respect to parking, landscaping and pedestrian and vehicular circulation systems and shall provide an appropriate interface with any adjacent residential uses;
- f) minimum height 2 storeys and maximum height four storeys; and,
- g) minimum floor space index of 1.0 and maximum floor space index of 2.0.

#### **2.5.17.4 Exceptions**

##### **2.5.17.4.1 220 Main Street North**

Notwithstanding the policies of Section 2.5.17.3.2 b), d) and f) a three storey apartment with parking in front of the main building may be permitted in the area of the site designated “Mixed Use Area” and such development may be partially located in the area of the site with the “Natural Hazard Area” and “Environmental Potential Area” overlay designations”, with the building limit being determined by the Township in accordance with the Lake Simcoe Region Conservation Authority.

### **2.5.18 Employment Area**

#### **2.5.18.1 Purpose**

The Employment Area designation on Schedule “A” permits the full range of employment and related uses, recognizing that the Urban Area does not include any large employment area and that employment uses must be integrated with surrounding development. Further, while the Durham Regional Official Plan indicates that Urban Areas should be planned to accommodate a minimum of 50% all forecast employment in designated Employment Areas, this is not achievable in the Uxbridge Urban Area, but should be taken into consideration

with respect to future planning.

### **2.5.18.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) manufacturing, assembly and processing of goods;
- ii) service industrial;
- iii) warehousing;
- iv) freight transfer and transportation;
- v) offices;
- vi) wholesale;
- vii) research and development;
- viii) conference, education and training;
- ix) data processing;
- x) commercial recreation;
- xi) institutional; and,
- xii) building supply.

### **2.5.18.3 Compatibility between Industrial and Sensitive Uses**

Notwithstanding the policies of Section 2.5.18.2, the Township shall not permit industrial uses which are considered to be a significant health or safety concern to residents or the natural environment. Where there is a concern with the potential impact of an industrial use, an evaluation report shall be prepared by a qualified consultant hired by the Township, with the concurrence of the applicant and at the cost of the applicant, based on terms of reference approved by the Township and the applicant. The evaluation shall take into account the Ministry of Environment's guideline "Compatibility Between Industrial Facilities and Sensitive Uses" and shall evaluate the impacts of the proposed use and whether appropriate mitigation measures can be developed to reduce impacts to a level acceptable to the Township. The applicant shall be required to implement any necessary mitigative measures, if the development is permitted.

### **2.5.18.4 Prohibited Uses**

Prohibited uses, buildings and structures shall include:

- i) commercial uses, with the exception of products produced and/or assembled on the premises which may be retailed from the premises subject to the regulations of the zoning by-law and provided that the commercial operation generally occupies less than 15% of the area of the main building; and,

- ii) eating establishments or other similar support service, with the exception that such services may be permitted as ancillary uses if they are subordinate to and support the main use on the site;
- iii) Industrial uses requiring large quantities of water as established by the Region.

## **2.5.18.5 Land Use Policies**

### **2.5.18.5.1 Employment Area Zones**

The Employment Area incorporates a diverse range of sites. The zoning by-law shall establish a range of zones to ensure that the permitted uses and regulations reflect the location and size of each site and its relationship to surrounding uses.

### **2.5.18.5.2 New Development Applications**

Proposals for new Employment Areas or expansion of existing Employment Areas, or for development in existing Employment Areas which require a zoning by-law amendment shall be evaluated based on submission of the following information, in addition to the requirements of Section 2.7:

- i) a conceptual plan for the site and surrounding lands which includes information on how the proposed development will be integrated with existing and future development on adjacent lands; and,
- ii) perspective drawings of the proposed buildings and structures.

New development within the Employment Area designation shall be subject to site plan control and shall conform to the following criteria:

- i) have regard for the Ministry of Environment's guideline "Compatibility Between Industrial Facilities and Sensitive Uses";
- ii) open storage shall be limited and screened in accordance with the provision of zoning by-law and the site plan agreement;
- iii) adequate off-street parking, service and loading areas shall be provided for the permitted uses and access points to and from such areas shall be limited in number and designed in a manner which will minimize the danger to both pedestrian and vehicular traffic;
- iv) appropriate buffering is provided from any adjacent Residential or

- Residential Higher Density Areas, school or park sites or open space areas;
- v) maximum height four storeys, with the exception of the Employment Areas on Reach Street and Franklin Street which shall have a maximum height of two storeys; and,
  - vi) maximum floor space index of 1.0.

### **2.5.18.5.3 Existing Employment Areas**

The Township shall work with owners of sites in the Employment Area designations and the business community to maintain these properties for employment uses or other uses permitted in the Employment Area designation.

### **2.5.18.5.4 Conversion of Employment Areas**

The Urban Area includes very limited lands designated Employment Area. In order to achieve the employment forecasts established for the Township, and to provide land for an appropriate mix and range of employment uses, applications for the conversion of lands in any Employment Area designation to non-employment uses, shall only be permitted through a Regional and/or Township municipal comprehensive review where it has been demonstrated that:

- i) there is a need for the conversion;
- ii) the Township will meet the employment forecasts allocated to the Township pursuant to the Durham Regional Official Plan;
- iii) the conversion will not adversely affect the overall viability of the employment area, and achievement of the intensification target, density targets, and other policies of this Plan and the Durham Regional Official Plan;
- iv) there is existing or planned infrastructure to accommodate the proposed conversion;
- v) the lands are not required over the long term for the employment purposes for which they are designated; and,
- vi) any cross-jurisdictional issues have been considered.

For the purposes of this policy, major retail uses and all other commercial uses other than those permitted in Section 2.4.18.4 i) and ii) are

considered non-employment uses.

Where lands in an Employment Area are located in the Downtown as designated on Schedule “A”, conversions shall be considered through a comprehensive review pursuant to the Provincial Policy Statement.

In accordance with the Planning Act, there is no appeal with respect to a decision of Township Council to refuse, or fail to adopt, any official plan or zoning by-law amendment application that proposes to remove any land from the Employment Area designation.

## **2.5.19 Hamlet Area**

### **2.5.19.1 Purpose**

The Hamlet Area designation recognizes existing development in the hamlet of Sandy Hook, a small residential community to the north of the Urban Area which is on private services, and in some cases partial services. It is intended to limit any significant new development given the proximity of the hamlet to the Urban Area. Further, new or expanded areas of partial servicing must conform to the policies of the Greenbelt Plan and Regional Official Plan.

### **2.5.19.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) residential uses existing at the date of adoption of this plan and modifications to such uses or the replacement of such uses in a manner which complies with the regulations of the zoning by-law, or an amendment or variance to such by-law;
- ii) one single detached dwelling unit on a lot of record; and,
- iii) commercial uses existing at the date of adoption of this plan and modifications to such uses including expansion and the addition of new uses or the replacement of such uses in a manner which complies with the regulations of the zoning by-law, or an amendment or variance to such by-law and provided such uses are appropriate to the hamlet location and compatible with surrounding uses.

### **2.5.19.3 Land Use Policies**

It is intended that any additional development in the Hamlet of Sandy

Hook shall be limited in accordance with the provisions of Section 2.5.19.1. Applications for any significant development beyond that permitted in Section 2.5.19.1 shall proceed by plan of subdivision and shall be evaluated in the accordance with the provisions of Section 9B.2.7, 9B.2.8, 9B.2.11, 9B.2.12 and 9B.2.13 of the Durham Regional Official Plan.

## **2.5.20 Rural Estate Area**

### **2.5.20.1 Purpose**

The Rural Estate Area designation recognizes an area of large lot development on the 6th Concession Road which serves as the western boundary to the Urban Area.

### **2.5.20.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) estate residential; and,
- ii) agriculture.

### **2.5.20.3 Land Use Policies**

The lands in the Rural Estate Area designation shall be limited to estate residential and agriculture uses on large lots which shall generally have minimum lot size of approximately 4 ha (10 acres) or the approved lot size existing at the date of adoption of this Plan. Infilling may be permitted where:

- i) the parcel for development shall generally not exceed 12 ha ( 29.6 ac) in size and shall be severed to create a maximum of 2 additional lots;
- ii) new lots shall have a minimum lot size of approximately 4 ha (9.8 ac);
- iii) new lots shall be located on an existing opened public road where safe access can be provided as determined by the Township;
- iv) new lots shall be serviced with an individual private waste disposal system and an individual private drilled well which meets the standards of the Ministry of the Environment and the Regional

Health Unit;

- v) the parcel for development shall be zoned in the zoning by-law in a special zoning category; and,
- vi) the lot shall comply with the minimum distance separation required from agricultural operations.

### **2.5.21 Private Open Space Area**

#### **2.5.21.1 Purpose**

The Private Open Space Area designation recognizes existing large areas of private open space uses, in particular golf courses, in the Secondary Plan Area.

#### **2.5.21.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are those related to golf courses. Agriculture shall also be permitted, as well as natural heritage conservation uses.

#### **2.5.21.3 Land Use Policies**

The Township shall work with the owners of lands in this designation to maximize the role of such uses as components of the Natural Heritage System in conformity with Section 2.3 of this Plan, and particularly Section 2.3.8.2.

### **2.5.22 Special Policy Area (Deferral #2)**

#### **2.5.22.1 Purpose**

The Special Policy Area designation on Schedule "A" is an overlay designation. The designation applies to areas within the Urban Area that have historically existed in the flood plain and where site specific policies are required to address the significant social and economic hardships to the community which would result from strict adherence to provincial policies concerning development in the flood plain.

#### **2.5.22.2 Permitted Uses, Buildings and Structures**

The uses, buildings and structures permitted shall be those within the underlying land use designations and shall include new buildings and

structures and the renovation, replacement or redevelopment of existing structures in accordance with the relevant flood proofing measures specified in Section 2.5.22.3.

### **2.5.22.3 Land Use Policies**

#### **2.5.22.3.1 Alteration to Watercourses**

The placing or removal of fill of any kind, whether originating on the site or elsewhere, or the alteration of any watercourse shall not be permitted within a Special Policy Area without the approval of the Conservation Authority and the Township of Uxbridge.

#### **2.5.22.3.2 Building Permit Review**

Prior to the issuance of a building permit, the Township of Uxbridge shall consult with the Conservation Authority regarding the administration of the Authority's fill and construction regulations and to assess any proposed or necessary flood damage reduction measures which may include such matters as:

- i) the design of the structure to withstand hydrostatic forces;
- ii) the strength of structural materials and components to ensure that the materials used will not be subject to deterioration from flooding;
- iii) the elevation of living space and exterior building openings relative to the Regulatory Flood;
- iv) the location and elevation of electrical and heating equipment relative to the Regulatory Flood;
- v) the location, elevation and design of municipal services and public utilities;
- vi) the design of the structure to ensure that the interior ground floor level elevation is as close as possible or above the Regulatory Flood level; and,
- vii) such other additional flood damage reduction measures as may be warranted in the context of the location and nature of the proposed building or structure.

#### **2.5.22.3.3 Flood Protection Levels**

- i) All new buildings and structures or additions to existing buildings or structures, wherever possible, shall be protected from flooding to the level of the Regional Flood. However, if it is demonstrated that the specified level of protection is not attainable, then a lesser level of protection will be determined by the Township of Uxbridge in consultation with the Conservation Authority.

In establishing the level of protection, the Conservation Authority and the Township of Uxbridge shall have regard for the nature and characteristics of development on adjacent lands with specific regard for existing doorway and floor elevations and the elevation of abutting streets and/or sidewalks and the desirability of maintaining a uniform appearance in building elevations.

- ii) Accessory buildings, structures and uses which are normally considered incidental and subordinate to a principal permitted use, exclusive of buildings intended for human habitation, may be exempted from certain flood proofing measures subject to the approval of the Conservation Authority and the Township of Uxbridge.

#### **2.5.22.3.4 Limitations on Development**

- i) Notwithstanding the policies of this section, no new buildings or structures inclusive of additions to existing structures, shall be permitted within a Special Policy Area designation where, after consulting with the Conservation Authority, the Township determines that such structures would be subjected to flows which, due to their velocity and/or depth, would result in an unacceptable high risk to human life or major structural damage as a result of a flood less than or equal to the Regional Flood or which will result in a significant increase in “off-site” and/or upstream/ downstream risks.
- ii) Where new development occurs within a Special Policy Area by means of a registered plan of subdivision or consent the Municipality, in conjunction with the Conservation Authority, may require as a condition of approval that provisions for warning prospective purchasers that the lands in question are located within an area which is susceptible to flooding be placed on the title of any lots or blocks.

#### **2.5.22.3.5 Zoning Regulations**

- i) Where lands designated as a Special Policy Area are vacant and/or

undeveloped, such lands shall be zoned within a holding zone in the implementing by-law in accordance with the provisions of the Planning Act. The Township of Uxbridge shall not remove the “H” prefix until such time as it has consulted with the Conservation Authority to determine the feasibility and nature of those flood damage reduction measures as may be necessary. Prior to removal of the “H” prefix, the Township shall give reasonable notice to the Conservation Authority of the intent to remove the holding provision.

- ii) The implementing zoning by-law shall contain provisions, where appropriate, relating to building setbacks, maximum lot coverage, minimum exterior opening elevation or such other matters as may be determined by the Township of Uxbridge in consultation with the Conservation Authority.

## **2.5.23 Waste Disposal Area**

### **2.5.23.1 Purpose**

Waste disposal sites identified to date are designated as an overlay designation on Schedule “A”. The prior use of these lands for the disposal of wastes may have long term effects on the future uses of these lands. This potential impact must be taken into account in evaluating any proposal for development.

### **2.5.23.2 Permitted Uses Building and Structures**

The permitted uses, buildings and structures shall be those existing at the date of adoption of this Plan and those uses permitted in the Prime Agricultural Area designation subject to the policies of Section 2.5.14 of this Plan.

### **2.5.23.3 Land Use Policies**

#### **i) Assessment Requirement**

No development shall be permitted on lands in the Waste Disposal Area designation on Schedule “A” without the completion of a Phase I assessment in accordance with the Ministry of the Environment’s Guidelines for the Use At Contaminated Sites in Ontario.

The Phase I assessment will be reviewed by the Township to ensure there is no contamination prior to the granting of any

development approvals. If there is evidence of contamination, the applicant will be required to submit a Phase II assessment in accordance with the Ministry of the Environment's Guidelines. If the site is found to be contaminated, the Township shall require the applicant to submit a Ministry of the Environment acknowledged Record of Site Condition to the Township to verify site clean-up prior to the granting of a building permit.

ii) **Official Plan Amendment**

Where a proposal is made to amend this Plan or the Zoning By-law to allow for the development of the lands in the Waste Disposal Area designation on Schedule "A", the following criteria must be satisfied:

- a) the requirements of Section 2.5.23.3 i) must be satisfied;
- b) all the other relevant policies of this Plan; and,
- c) any additional requirements of the Ministry of the Environment.

<b>2.5.24 Brock St. Mixed Use Area</b>
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**2.5.24.1 Purpose**

The Brock St. Mixed Use Area provides for the ultimate development, of a node of mixed use development including commercial, service, residential, office and institutional uses. The commercial uses will be oriented to the provision of grocery and convenience/service uses which are not the size of use appropriate in the Main Central Area, or the large floor space retail outlet as defined in Section 2.5.16.2 of this Plan. At the same time, the commercial development is intended to be integrated in this mixed use area in keeping with the Gateway policies of Section 2.4.4 of this Plan.

**2.5.24.2 Permitted Uses, Buildings and Structures**

The permitted buildings and structures on the north side of Brock St. E. include both mixed use and single use buildings for the following uses:

- i) a supermarket with a minimum floor area of 2,787 sq. m. (30,000 sq. ft.) and a maximum floor area of 3,252 sq. m. (35,000 sq. ft.);
- ii) other retail and service commercial uses, excluding personal service uses, with a total floor area of 1,858 sq. metres (20,000 sq. ft.) and each use shall have a minimum floor area of 186 sq. metres (2,000 sq. feet) and a maximum floor area of 929 sq. metres

- (10,000 sq. ft.);
- iii) personal service uses and each use shall have a minimum floor area of 186 sq. metres (2,000 sq. feet) and a maximum floor area of 929 sq. metres (10,000 sq. ft.);
- iv) medium or higher density residential uses, including dwelling units above at-grade commercial development, with a minimum density of 35 units per net hectare (14 units per net acre) and a maximum density of 65 units per net hectare (26 units per net acre);
- v) office uses; and,
- vi) institutional and non-profit uses.

The permitted buildings and structures on the south side of Brock St. E. include the use of the buildings and structures existing as of May 1, 2006 and small scale additions to such buildings and structures, or new buildings in conformity with the policies of Section 2.5.24.4.2 for:

- i) existing commercial uses and other small scale retail commercial, service commercial and personal service uses;
- ii) low and medium density residential uses such as single detached, semi-detached and duplex dwellings, townhouses and apartments including residential units in conjunction with other permitted uses;
- iii) offices;
- iv) day care centres; and,
- v) institutional and non-profit uses.

### **2.5.24.3 Prohibited Uses, Buildings and Structures**

Notwithstanding the provisions of Section 2.5.24.2 the following uses shall be prohibited in the Brock St. Mixed Use Area:

- i) drive-through or drive-in uses including drive-in and drive-through eating establishments,
- ii) vehicle service stations or other vehicle service uses, and,
- iii) banks or trust companies.

In addition, no garden centre use or other outdoor uses, including any outdoor storage, shall be permitted, with the exception of a seasonal garden centre use associated with a supermarket use. The permitted seasonal garden centre use shall only be permitted in a location which complements the adjacent development and shall be incorporated into the overall design scheme for that portion of the property and shall not be located in the parking area if the seasonal garden centre occupies any required parking.

### **2.5.24.4 Land Use Policies**

#### **2.5.24.4.1 Brock St. - North Side**

- i) Development on the north side of Brock St. in the Brock St. Mixed Use Area shall be subject to the following general controls on height and density, in addition to the other policies of this section:
  - a) Minimum floor space index - 0.5;
  - b) Maximum floor space index - 2.0;
  - c) Minimum height - minimum height of 6 metres comprising two storeys or a double height building in a single storey or a single storey building with parapets; and,
  - d) Maximum height - four storeys.
- ii) No retail or service commercial uses shall be permitted in the Brock St. Mixed Use Area designation on the north side of Brock St., unless they are constructed in conjunction with, or following, the construction of the permitted supermarket;
- iii) Additional commercial development may be permitted subject to the following:
  - a) The supermarket may be expanded to a maximum size of 4,180 sq. m. (45,000 sq. ft.) subject to the passage of a zoning by-law amendment, subject to a holding (H) provision. The additional supermarket floor space shall only be permitted upon the lifting of the holding (H) provision; and,
  - b) Additional retail and service commercial space may be permitted subject to the submission of an updated market study which demonstrates demand for the additional floor space and provides an assessment of impact effects on the planned function of designated commercial areas, in particular the Main Central Area, and demonstrates that the planned function will not be prejudiced, all to the satisfaction of the Township.
- iv) Prior to the approval of a zoning by-law amendment to permit any development on the north side of Brock St. in the Brock St. Mixed Use Area, in addition to the requirements of Section 2.7, the Township shall require the submission of elevations and computer models as well as the plans required by Section 2.7.4 ii), which demonstrate that then proposed development satisfies the requirements of Section 2.4, particularly Section 2.4.4 of this Plan. The plans will include:

- a) measures to mitigate potential impacts on adjacent residential development, both existing and proposed, based on the recommendations of a noise impact study and a light impact study;
- b) development which enhances the “gateway” function of the Brock St. Mixed Use Area through site design and landscaping in conformity with the provisions of Section 2.4, and in particular, which provides for well defined and articulated street edges along Brock St. E. and Herrema Blvd. including:
  - a significant portion of the cumulative total of the frontages of both Brock St. E. and Herrema Blvd., in the order of 40-50%, shall be defined by a building edge, including buildings at the northeast corner of Herrema Blvd. and Brock St. E. and the northwest intersection of the Urban Boundary and Brock St. E. with off-street parking or loading between the building and the street;
  - the establishment of minimum and maximum setbacks from the road allowance right-of-way for the location of buildings and structures required along these roads; and,
  - screening of all loading and service areas from the view of adjacent roads and residential areas.
- c) garbage/recycling storage shall be within a wholly enclosed building;
- d) a detailed pedestrian circulation plan including substantive linkages between buildings and to the sidewalks along Herrema Blvd. and Brock St. E and the trail system along the east side of the site.;
- e) all buildings shall have high quality facade materials on all public frontages including:
  - the use of design features to animate the street frontage in particular the use of significant glazing, including display windows which may have a wall behind them, on all public street edges, but, excluding false windows, and,
  - no single material blank walls fronting on public street edge;

- f) commercial buildings shall include multiple stories, or double height buildings or parapets in a single storey with a high standard of design (i.e. step backs, clerestory windows).
- v) Notwithstanding the provisions of Section 2.5.24.4.1 i), where the ultimate mixed use development, with a minimum floor space index of 0.5 and 40-50% of the frontage defined by building edge, is not proposed to be developed initially, the applicant shall be required to submit a detailed plan and program demonstrating how the ultimate density and other objectives for the site can be achieved. This plan will include the potential for decked or underground parking. The Township will utilize this plan to review the proposed development to determine if it is appropriate as an interim use. In particular, the Township will be satisfied that the proposed interim development can be easily intensified to achieve the ultimate development form without the demolition of the proposed buildings and structures. The interim development shall have a minimum floor space index of 0.3, and a minimum of 30% of the cumulative frontage of the site defined by building edge.
- vi) In addition to the other requirements of this Section, the Township shall;
  - a) work with the Regional Municipality of Durham and development proponents to ensure, the reconstruction of Brock St. E. in the vicinity of the Brock St. Mixed Use Area designation with an urban cross-section, including sidewalks on both sides of the road and stop lights at the intersection of Herrema Blvd. and Brock St. E. The urbanization of the north side of Brock Street East shall be a condition of development of the Mixed Use designation of the north side of Brock Street East; and,
  - b) take into account the need to balance environmental considerations identified by the Lake Simcoe Region Conservation Authority, with the limited amount of developable land available for development in the Urban Area, in determining the developable area for proposed development within the Brock St. Mixed Use Area designation.

#### **2.5.24.4.2 Brock St. - South Side**

The Brock St. Mixed Use Area designation on the south side of Brock St.

recognizes the existing commercial and residential uses which currently occupy residential buildings in this area. The Township encourages the maintenance of these structures for the permitted uses, including small additions to the buildings.

Where the existing structures are proposed to be replaced, new development shall:

- i) enhance the “gateway” function of the Brock St. Mixed Use Area through site design and landscaping in conformity with the provisions of Section 2.4;
- ii) be comprised of proposed buildings and structures of a size and scale which can be appropriately integrated with the character of the existing development on the south side of Brock St. E.;
- iii) be designed to be oriented to Brock St. E. with no parking areas located between the main building and the street;
- iv) be integrated with development on adjacent lands wherever feasible with regard to parking, landscaping and pedestrian and vehicular circulation systems and shall provide an appropriate interface with any adjacent residential uses;
- v) have a maximum height three storeys; and,
- vi) have maximum floor space index of 1.0.

Further, where substantial redevelopment is proposed which will include more than 929 sq. m. (10,000 sq. ft.) of commercial floor space, such development shall only be permitted subject to the submission of an updated market study which demonstrates demand for the additional floor space and provides an assessment of impact effects on the planned function of designated commercial areas, in particular the Main Central Area, which demonstrates that the planned function will not be prejudiced, all to the satisfaction of the Township. ”

## **2.5.25 Mixed Use Special Policy Area**

### **2.5.25.1 Purpose**

The Mixed Use Special Policy Area is an overlay designation. The designation applies to certain areas in the Residential Area designation adjacent to the Main Central Area where the Township may permit the use of existing buildings for small scale commercial, service, office,

institutional and non-profit uses subject to a zoning by-law amendment.

### **2.5.25.2 Permitted Uses, Buildings and Structures**

In addition to the uses permitted in the Residential Area designation in conformity with the policies of Section 2.5.5 of this Plan, subject to the approval of a zoning by-law amendment, the buildings and structures existing as of May 1, 2006 in the Mixed Use Special Policy Area, and small scale additions to such buildings and structures, may be used for:

- i) existing, legal commercial uses;
- ii) small scale retail commercial, service commercial and personal service uses;
- iii) residential units in conjunction with other permitted uses;
- iv) offices;
- v) day care centres; and,
- vi) institutional and non-profit uses.

### **2.5.25.3 Land Use Policies**

Prior to the approval of a zoning by-law amendment to permit any development, other than those uses permitted in the Residential Area designation, in the Mixed Use Special Policy Area, the Township shall be satisfied through the submission of relevant plans and studies required by Section 2.7 and other background information that:

- i) there is no feasible, alternative site available in the Main Central Area;
- ii) sufficient parking for the proposed use can be provided in the rear or side yard in a manner which is compatible with adjacent properties, including the provision of an appropriate landscaped buffer, and privacy fencing, and the preservation of mature trees on the site;
- iii) in establishing the on-site parking requirement, the Township shall take into account available on-street parking, proximity to municipal parking and/or the potential to share parking with adjacent properties;

- iv) any changes to the exterior of the buildings and structures and the landscaping on the property will maintain or improve the existing character of the area;
- v) signage shall be non-obtrusive and compatible with the general residential character of the area.

## **2.5.26 Local Commercial Area**

### **2.5.26.1 Purpose**

The Local Commercial designation applies to an area on the south side of Reach Street, west of Testa Road. The designation recognizes a small-scale mixed use centre which includes residential uses, as well as a range of commercial, service and other uses which serve the immediate surrounding area, as well as providing for specialized uses which serve the community as a whole.

### **2.5.26.2 Permitted Uses, Buildings and Structures**

The permitted buildings and structures include the use of the buildings and structures existing as of June 28, 2010, and small scale additions to such buildings and structures, or new buildings in conformity with the policies of Section 2.5.26.4 for:

- a) small scale retail commercial, service commercial and personal service uses including a convenience store;
- b) residential units in conjunction with other permitted uses;
- c) offices, including a medical or dental clinic;
- d) day care centres; and,
- e) institutional and non-profit uses.

### **2.5.26.3 Prohibited Uses, Buildings and Structures**

Notwithstanding the provisions of Section 2.5.26.2 the following uses shall be prohibited in the Local Commercial Area:

- a) vehicle service stations or other vehicle service uses, and,
- b) financial institutions.

In addition, no garden centre use or other outdoor uses, including any outdoor storage shall be permitted.

### **2.5.26.4 Land Use Policies**

The subject area is currently zoned to permit a narrow range of commercial and service uses, which may be extended to include other local convenience commercial and service uses which primarily serve the surrounding area. Prior to the approval of a zoning by-law amendment to permit any uses which serve the community as a whole, the Township shall be satisfied through the submission of relevant plans and other background information that:

- a) there is no feasible, alternative site available in the Main Central Area;
- b) sufficient parking for the proposed use can be provided on the site;
- c) any changes to the exterior of the buildings and structures and the landscaping on the property will maintain or improve the existing character of the area; and,
- d) signage shall be non-obtrusive and compatible with the general residential character of the area.

## 2.6 TRANSPORTATION STRATEGY

### 2.6.1 Purpose

The purpose of the transportation plan on Schedule “A” and the trails plan on Schedule “B” are to allow for the development of a transportation network which provides for the safe, economic and efficient movement of people and goods, while recognizing the necessity for the creation of streetscapes which are attractive and comfortable for pedestrians and bicyclists and which support transit use, as well as vehicular movement.

### 2.6.2 Road Network

#### 2.6.2.1 Road Classification

- i) Roads shall conform with the designations on Schedule “A” and the requirements of Table 2.4 unless otherwise determined by the Township or the Region as applicable. In addition, it is recognized that all Arterial Roads shall be subject to the policies of the Durham Regional Official Plan.
- ii) Potential roads designated on Schedule “A” are established to reserve sufficient lands to provide choices for long term planning. Their alignments are approximate and may be modified without an amendment to this Plan. The construction of such roads shall comply with the requirements of Table 2.4.
- iii) New local roads not designated on Schedule “A” shall conform with the requirements of Table 2.4

#### 2.6.2.2 Road Planning

- i) The Township shall work co-operatively with the Region of Durham to integrate the planning of the road network in the Urban Area with the regional road system.
- ii) The Township, as a condition of development or redevelopment, may require lands for the purposes of road widening to be dedicated to the appropriate authority having jurisdiction, in accordance with the requirements of Table 2.4. Additional lands in excess of the typical right-of-way widths may also be required to be

conveyed for works related to, but not limited to, extensive cut/fill operations, intersection improvements, bridges, sight triangles, and drainage and buffering improvements.

- iii) Notwithstanding the standards set out in this Plan, the Township recognizes that the reconstruction of roads to normal minimum standards in some existing developed areas may not be appropriate from a community design perspective, or economically or physically feasible due to existing building setbacks and/or mature trees within or adjacent to the road allowance. Any attempt to reconstruct such roads to minimize deficiencies shall only be undertaken after a study to determine a right-of-way which will result in a streetscape which minimizes impacts on abutting properties and is appropriate to the character of the area, while serving anticipated traffic volumes. No amendment to this Plan shall be required to implement such a modification to the right-of-way.
- iv) Generally no new roads shall be assumed or dedicated which do not meet the minimum standards established in Table 2.4. However, the Township may accept roads with reduced standards, particularly where parks, open space or institutional uses are located on one side of the road. Notwithstanding the foregoing, such reduced standards shall be accepted only when the Township is satisfied that such roads can serve anticipated traffic volumes and that they provide adequately for snow storage, on-street parking and other necessary facilities. In order to demonstrate the acceptability of such alternative road standards, the Township may carry out its own evaluation at the cost of the applicant.
- v) New roads shall be designed to integrate “traffic calming” measures as appropriate. In addition, where traffic problems are identified in existing areas through studies carried out by the municipality, the Township shall consider the introduction of “traffic calming” measures where appropriate to assist in the resolution of such concerns.
- vi) Within the Downtown and the Hamlet of Sandy Hook, the speed and access spacing requirements of Table 2.4 shall not apply to arterial roads.

Outside of the Downtown and the Hamlet of Sandy Hook, the right-of-way widths, speeds and access spacing requirements of Table 2.4 shall apply to the arterial roads shown on Schedule A. However, if the intent of the Plan is adhered to, and following

adequate study to the effect that such provisions cannot be implemented precisely, the authority having jurisdiction on such roads may deviate from these provisions without the need for an amendment to this Plan.

- vii) The Township shall work with the Region of Durham to reduce truck traffic through the Downtown particularly during the months of June to September by consulting with stakeholders and by implementing and promoting the use of the Region’s Strategic Goods Movement Network identified in the Durham Regional Official Plan.

<b>Table 2.4 Function of Road Facilities</b>		
<b>Road Classification</b>	<b>Function</b>	<b>Design Requirements</b>
Type A arterial roads	Serve large volumes of inter-regional, regional and local traffic including truck movements. May serve as Regional Transit Spines.	In accordance with the applicable Arterial Road Criteria of Table ‘E7’ the Durham Regional Official Plan
Type B arterial roads	Serve moderate volumes of regional and local traffic, including truck movements. May serve as Regional Transit Spines.	In accordance with the applicable Arterial Road Criteria of Table ‘E7’ the Durham Regional Official Plan
Collector Roads	-Serve local travel demands -Connects arterial and local roads	-Direct access from abutting properties permitted with some restrictions -Maximum two travel lanes Maximum right-of-way width 20 to 26 metres (66 to 85 feet), except in the Downtown where the right-of-way shall be that existing at the date of adoption of this Plan
Local Roads	-Serves local and neighbourhood travel demand -Connects individual properties to collectors and arterials	-No access control -Maximum two travel lanes -Right-of-way width 20 metres (66 feet) maximum, however, reduced standards may be established for individual development applications to a minimum right-of-way of 17 metres (55.7 feet)
Lanes	Provides access to individual properties for parking and loading	Generally prohibited, but where permitted: -No access control -Right-of-way width 7.5 metres (24.6 feet) minimum

## **2.6.3 Pedestrian and Bicycle Circulation**

### **2.6.3.1 Sidewalk and Road System**

- i) The primary system for pedestrian movement shall be the sidewalk system. Provision shall be made for sidewalks on both sides of all arterial and collector roads, and on one side of all local roads, at a minimum, with two sides preferred with the exception of cul-de-sacs and streets with a limited number of homes on them.
- ii) Bicycle movement shall generally be accommodated in the road right-of-way. Consideration shall be given to the inclusion of bicycle facilities in road right-of-ways for new arterial and collector roads, and the addition of facilities for bicycles on existing arterial and collector roads when such roads are reconstructed or where it is financially feasible to do so. In planning for bicycle movement, the Township will take into consideration the Durham Regional Cycling Plan.

### **2.6.3.2 Trail System**

The Township as the “Trail Capital of Canada” has developed an extensive, existing system of pedestrian/bicycle trails. The Township shall continue to work to expand this system over time, in particular enhancing connections to the Downtown, in accordance with the policies of Section 2.3.12.2 of this Plan and Schedule “B” to this Plan.

## **2.6.4 Transit Service**

Durham Region Transit is responsible for transit service, with the exception of GO service. The Township shall work with the Region of Durham and Durham Region Transit in the enhancement and implementation of transit services, recognizing that the Region has identified Main Street (Regional Road 1), Brock Street (Regional Road 8) and Toronto Street (Regional Highway 47) as part of their Transit Priority Network in accordance with the policies of Section 11 of the Durham Regional Official Plan. In particular, the Township shall support the extension of GO rail service to the Urban Area and provide for the designations of the commuter rail and commuter station in the Plan in the future. In addition, higher density and mixed uses shall be encouraged to locate in the Main Central Area adjacent to the potential GO station and along arterial roads particularly transit spine routes to support transit service.

## **2.6.5 Heritage Rail Service**

The Township shall continue to support the heritage rail service and to facilitate its operation. In particular, the Township will work to provide a safe crossings of the track

by the trail system as shown on Schedule “B”, in a tunnel or by a bridge, to ensure that conflicts between the function of the trail system and the operation of the rail service are eliminated.

## **2.6.6 Parking**

### **2.6.6.1 General Parking Requirements**

The Township shall require, as a condition of development, that adequate off-street parking and loading facilities be provided. However, notwithstanding the foregoing, the Township shall encourage the retention and expansion of on-street parking in areas where it will not interfere with the efficient movement of traffic.

### **2.6.6.2 Main Central Area and Downtown**

In recognition of the difficulty of providing on-site parking within the Downtown, and in particular the Main Central Area, the Township shall work with the Business Improvement Area and local businesses as part of the implementation of the Downtown Vision and Action Plan, or separately, to update parking studies and establish a program for the acquisition and development of off-street parking facilities utilizing funding from such sources as cash-in-lieu of parking payments.

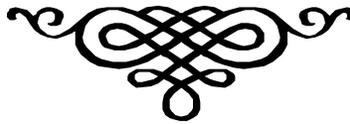
In addition, the Township:

- i) shall encourage the owner or operator of any building or site which cannot satisfy the requirements of the zoning by-law with respect to parking to investigate alternative arrangements for the provision of off-street parking areas through agreement with the Township;
- ii) may, at its discretion, enter into an agreement with the owner or operator of a building within the Downtown to provide for the payment of cash-in-lieu of all or part of the zoning by-law requirements pertaining to the provision of off-street parking; and/or,
- iii) may, in reviewing a proposal for development provide for a reduced parking standard provided that the redevelopment shall not result in a significantly greater deficit of parking spaces or where common parking facilities or additional on-street parking spaces have been provided.

### **2.6.6.3 Temporary Zoning**

In accordance with the provisions of Section 3.2.5 of the Plan, notwithstanding any other policies of this Plan, where lands are vacant and may be used to provide off-street parking to overcome existing deficiencies, the Township may authorize the temporary use of such lands to provide off-street parking. In authorizing such a use, the Township shall require that the temporary use of the vacant lands for off-street parking will not adversely affect adjacent residential areas and will not create a hazard for either pedestrian or vehicular traffic.

## **SECTION 3 IMPLEMENTATION**



## **3. IMPLEMENTATION**

### **3.1 General**

The policies of this Plan shall be implemented by the powers conferred on the Township by the Planning Act, the Municipal Act and other applicable statutes. In particular, this Plan shall be implemented by the zoning by-law or development permit by-laws, subdivision control, consents, site plan control and the provision of municipal services and public works in accordance with the policies set out in this section.

### **3.2 Zoning By-law**

#### **3.2.1 Amendment to Conform with Plan**

- i) It shall be the policy of this Plan that the Township shall amend the comprehensive zoning by-law and such other by-laws as may be necessary to conform with and to give effect to the provisions of this Plan.
- ii) Until such time as the zoning by-law can be amended to bring it into conformity with this Plan or amendments thereto, or repealed to allow a new by-law to be enacted, the present zoning by-law shall remain in effect. However, any amendments shall be in conformity with this Plan.

#### **3.2.2 Lands Designated But Not Required Immediately**

Lands designated for development on Schedule “A”, in accordance with the policies of this Plan, will remain undeveloped until the policies of this Plan can be satisfied. No provision of this Plan shall require the Township to zone such lands to permit immediate development for the designated use. Rather, where lands are designated, but development is not immediately permitted, the lands shall generally be zoned to limit permitted uses to environment conservation, agriculture, public uses and utilities or similar uses. Such areas shall only be rezoned for their designated use upon compliance with the relevant provisions of this Plan.

#### **3.2.3 Existing Non-Conforming Uses**

Notwithstanding any other policies of this Plan, the Plan is not intended to necessarily prevent the continuation, expansion or enlargement of existing uses which do not conform with the designations or policies of the Plan. It shall be the policy of this Plan that where an existing land use is not designated on Schedule "A" to this Plan, that the use of such land, building or structure for the purpose for which it was legally used at the date of adoption of this Plan may be recognized in the zoning by-law. Provision may also be made, subject to a zoning by-law amendment or variance from the By-law, for the expansion or enlargement of such existing use in accordance with the following policies:

- i) that the proposed extension or enlargement of the established use will not adversely affect the implementation of the policies of this Plan and that the general intent and purpose of the Plan is maintained;
- ii) that the proposed extension or enlargement is in proportion to the size of the use as it existed at the date of enactment of the implementing by-law;
- iii) that the proposed extension or enlargement is compatible with surrounding uses in terms of noise, vibration, fumes, heat radiation, smoke, dust, odours, or other similar offensive characteristics;
- iv) that site planning and design are such as to minimize the effect of the proposed extension or enlargement on adjacent conforming uses, and, where necessary, adequate spatial separation, buffer planting, screening and fencing are provided so as to afford adjacent conforming uses a degree of protection from any offensive characteristics; and,
- v) that the use will not result in increased traffic volumes through residential areas and that adequate off-street parking and loading facilities are available, provided further that ingress and egress points to and from the site are designed in such a manner as to minimize the danger to both vehicular traffic and pedestrian movements.

### **3.2.4 Holding Provisions**

- i) A By-law may be passed pursuant to the provisions of the Planning Act, to zone lands for their intended purpose and further impose a holding provision by use of the Holding Symbol "H for any area in the Township.

- ii) Prior to passing a by-law to remove the holding zone, the Township shall ensure that:
  - a) the development is consistent with the orderly and phased development of the Township;
  - b) the owner has satisfied all the requirements of the Township and entered into any necessary agreements in this regard;
  - c) the owner has satisfied all the requirements of the Region of Durham with respect to the provision of sewer and water services, Regional roads, and entered into any necessary agreements in this regard; and,
  - d) the owner has satisfied all the requirements of all other public agencies including clearances of any provincial review responsibilities and entered into any necessary agreements in this regard.

In the interim period until the Holding provision is removed in accordance with the provisions of this Plan and the Planning Act, the uses permitted shall be restricted to those existing as of the date of adoption of this Plan, conservation and preservation of the natural environment, agriculture, public uses and utilities or other uses specified in the zoning by-law.

### **3.2.5 Temporary Use By-laws**

Pursuant to the provisions of the Planning Act, by-laws may be passed to permit the temporary use of lands, buildings or structures, which may not conform to this Plan, provided that the following requirements are complied with:

- i) that the use is compatible with surrounding land uses and activities; and,
- ii) that such temporary uses or activities do not result in a hazardous condition for either vehicular or pedestrian traffic and that the relevant parking area requirements are complied with.

Such a by-law shall define the area to which it applies and prescribe the period of time for which the authorization shall be in effect having regard for the appropriateness of the use and the temporary nature of the use or activity.

The Township may pass subsequent by-laws granting extensions of up to three years to a temporary use by-law; however, once the subsequent by-law has lapsed, the use permitted by the by-law must cease and if the use continues it will be viewed as an illegal use in regard to the implementing zoning by-law.

### **3.2.6 Height and Density Bonus Provisions**

Pursuant to provisions the Planning Act, a zoning by-law may authorize increases in the height and density of medium and high density residential or mixed use development otherwise permitted by the by-law, that will be permitted in return for the provision of such facilities, services or other matters as set out in the zoning by-law. The Township's objectives in authorizing such increases in height or density are:

- i) to encourage the provision of underground or in-building parking for attached housing or mixed use development;
- ii) to encourage the preservation and conservation of buildings or structures of historical, contextual or architectural merit;
- iii) to encourage the protection of natural features which form part of the Natural Heritage System;
- iv) to encourage the provision of parkland above and beyond that required through the provisions of this plan;
- v) to encourage the provision of unique urban design features above and beyond the requirements of this plan;
- vi) to encourage the provision of the trails system, day care and other public or quasi-public facilities;
- vii) to encourage the provision of housing for seniors and the disabled; and,
- viii) to encourage the provision of specific features which will enhance the sustainability of the development including green roofs, solar panels and achievement of LEED, Energy Star or other similar certification system or equivalent.

A site-specific zoning by-law will establish detailed development standards that would apply when a bonus is awarded and the relationship between these standards and the conditions which must be met, if the bonus standards are to apply.

In the granting of a height and density bonus, the Township may require the owner to enter into one or more agreements with the municipality dealing with the facilities, services or other matters to be provided.

The maximum residential density and height permitted through the bonus provisions may exceed that which is permitted in the general Official Plan policies. However, no residential development may be granted bonus density in excess of 20 percent beyond the maximum density provided in the parent zoning by-law nor may a bonus in height be granted which result in a building of more than 6 storeys.

### **3.2.7 Interim Control By-laws**

Interim Control By-laws may be passed in accordance with the provisions of the Planning Act to control the use of lands and buildings within designated areas of the Township until such time as studies required by the Township to assess planning and engineering issues are prepared and approved. The By-law may specify a time period (which shall not exceed one year) prohibiting the use of land, buildings and structures, except for those purposes as set out in the By-law.

In the event that the review or study related to an Interim Control By-law has not been finalized within one year, the Municipality may amend the Interim Control By-law in order to extend the period of time for which it is in effect, provided that total period of time it is in effect does not exceed two years from the day of passing of the Interim Control By-law.

If Council has not passed a by-law under the Planning Act subsequent to the completion or review of the study within the period of time specified in the Interim Control By-law, the provisions of any zoning by-law passed under the Act that applied to the subject lands immediately prior to the coming into force of the Interim Control By-law again come into force.

### **3.2.8 Conditional Zoning**

A By-law may be passed pursuant to the provisions of Section 34(16) of the Planning Act, subsequent to the establishment of regulations by the Minister of Municipal Affairs and Housing, to zone lands for their intended purpose, subject to conditions where the lands are designated such as to permit development. The conditions imposed may relate to any matter which implements the policies of this Plan including the provision of sewer and water services, roads, transit, parks, recreation and other community facilities, and commitments to specific design, tree planting, and sustainability plans.

### **3.3 Further Amendments to Plan**

The Official Plan is based on the best information available at the time it was prepared; changes may occur which may require amendments to the Plan. In considering an amendment to the Plan, regard shall be had to the following criteria which are in addition to those specified in the remainder of this Plan:

- i) The need for the proposed use;
- ii) The extent to which the existing areas in the proposed designations are developed, and the nature and adequacy of such existing development;
- iii) The physical suitability of the land for such proposed use;
- iv) The location of the areas under consideration with respect to:
  - a) the adequacy of the existing and proposed road system in relation to the development of such proposed areas;
  - b) the convenience and accessibility of the site for vehicular and pedestrian traffic and traffic safety in relation thereto; and,
  - c) the adequacy and availability of the municipal water and sewage facilities, and other municipal services in view of the policies contained in this Plan and in accordance with technical reports or recommendations submitted by the applicant or agencies.
- v) The compatibility of such proposed use with uses in the surrounding area; and,
- vi) The potential effect of the proposed use on the financial position of the Township and the Region.

### **3.4 Plans of Subdivision**

Only those plans of subdivision or condominium shall be approved for development which:

- i) comply with the designations and policies of this Plan;
- ii) can be supplied with adequate services and community facilities; and,
- iii) will not adversely affect the financial status of the Township and the Region.

### 3.5 Consents

Consents shall be considered in accordance with the policies of the Durham Regional Official Plan and the policies of this Plan.

### 3.6 Site Plan Control

- i) All lands in the Township of Uxbridge shall be designated as a site plan control area and may be subject to site plan control by-laws. The provisions of the Planning Act with respect to site plan control may be used with respect to all uses, including low density residential uses, or designations within the Official Plan. However, the following uses shall not be subject to site plan control:
  - a) agricultural and farm related buildings or structures which are utilized in farming operations except where such buildings and structures are located in the Oak Ridges Moraine Conservation Plan Area identified on Schedule “H” to this Plan, or where such buildings and structures are used for the production of marihuana;
  - b) electric power facilities; and,
  - c) Region of Durham service facilities.
- ii) In accordance with the Planning Act, the owner of land may be required to enter into a Site Plan Agreement and provide to the satisfaction and at no expense to the Township and the Region, any or all requirements set out in the Planning Act.
- iii) Where a proposed development is subject to site plan control, the dedication of the widening needed to achieve the road allowance to meet Regional and Township rights-of-way established in Table 2.3 to this Plan, shall be required along the frontage of the development as a condition of site plan approval. Such dedication shall be granted to the appropriate authority free of all charges. However, the Township or the Region at their discretion may choose not to take all the required road widening where the nature of existing development means that it is unlikely that the maximum widening will be required.
- iv) In addition to the other provisions of this section, in the Uxbridge Urban Area, through the site plan control process, the Township may control:
  - a) matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is exterior design; and,
  - b) the sustainable design element on any adjoining municipal road including trees, shrubs, hedges, plantings or other ground cover, permeable paving

materials, street furniture, curb ramps, waste and recycling containers and bicycle parking facilities.”

- v) Notwithstanding Section 3.6 i), all new development within WHPAs, as described in Section 1.10.2.3 of this Plan and shown on Schedule “L”, shall be subject to site plan control to ensure that, where possible:
- a) the extent and location of impervious surfaces such as parking lots, roadways and sidewalks are minimized;
  - b) site grading and drainage is designed to reduce ponding; and,
  - c) run-off is either directed outside of the WHPAs or to storm sewers.

In addition, development within WHPA’s may be subject to site plan control to implement the conclusions or recommendations of a water balance assessment or similar study to:

- a) maintain pre-development recharge to the greatest extent feasible through best management practices such as Low Impact Development stormwater management approaches; and,
- b) minimize impervious surfaces and provide for lot level infiltration.

A salt management plan may also be established as a condition of the submission of a complete application for site plan in accordance with the provisions of Section 3.16 of this Plan.

<b>3.7 Development Charges and Financial Requirements</b>
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**3.7.1 Development Charges**

The Township shall review and update its Development Charges By-law in conformity with this Plan.

**3.7.2 Other Financial Requirements**

Prior to the final approval of any development in the Township of Uxbridge, the Township and/or the Region of Durham may require the owner to enter into servicing and other agreements, including front end requirements or accelerated payments that will ensure that the development can be adequately serviced and that an appropriate contribution has been secured toward the provision of community services.

In particular:

- i) Prior to the approval of development, particularly in the Urban Area as designated on Schedule “A”, the Township and/or the Region of Durham shall be satisfied as to the availability of water supply and sewer capacity to accommodate said development. This may require front end or accelerated payment agreements and limitations to be placed on development.
- ii) Prior to the registration of any development, where applicable, the owner shall have entered into a servicing agreement, including any front end requirements or accelerated payments with the Township and/or the Region of Durham that will identify the capital expenditures associated with the servicing of the lands.
- iii) Prior to any development approvals, an assessment of infrastructure cost requirements to accommodate the development, including development phasing, the timing of infrastructure emplacement, and the methods of financing including developer front end or accelerated payment agreements shall be addressed in conjunction with other proponent’s developments as required.

### **3.7.3 Developers Group Agreement(s)**

Prior to the final approval of development on lands in the Urban Area as designated on Schedule “A”, or any other large scale development areas involving a number of landowners, the Township may require that landowners with applications for development enter into an agreement or agreements to address the sharing of the common costs of development.

## **3.8 Land Dedication and Acquisition**

### **3.8.1 Natural Heritage System**

The Township shall consider the acquisition at no or minimal cost of the lands in the Natural Hazard Area overlay designation, Environmental Constraint Area designation or Environmental Potential Area overlay designation which form part of the Natural Heritage System designated on Schedule “A” and “B”. A wide range of mechanisms would be used to achieve this objective including acquisition in accordance with the Planning Act, negotiation as a condition of development approval, development bonus under Section 37 of the Planning Act, property tax exemptions for non-usable land areas, easements registered on title, land exchanges, donations, gifts, bequests and lease agreements.

### **3.8.2 Other Lands**

The Township shall generally acquire other lands required to implement the policies of this Plan in accordance with the provisions of the Planning Act, the Municipal Act and the Development Charges Act or any other statute. However, consideration will be given to the use of other mechanisms where appropriate.

### **3.8.3 Parkland Acquisition**

i) As a condition of development of land, the Township shall require the conveyance of land for parkland or other public recreational purposes based on the parkland conveyance provisions of the Planning Act, and specifically:

a) in the case of land proposed for development or redevelopment for commercial or industrial purposes, 2 percent of the land proposed for development or redevelopment or within a plan of subdivision as the case may be; and,

b) 5 percent of the land in all other cases,

provided that in the case of land proposed for development or redevelopment for residential purposes, the Township shall require that land instead be conveyed at a rate of one hectare for each 300 dwelling units proposed if the application of this alternative standard would result in the conveyance of a greater area of land (unless the Township has entered into an agreement providing otherwise).

ii) The Township may, at its discretion, request cash payment-in-lieu of land for park purposes to the value of the land otherwise required to be conveyed; such cash will be placed in a park fund to be expended in accordance with the provisions of the Planning Act. Cash-in-lieu of parkland shall be calculated and paid at the time of issuance of building permits. The Township may also exchange lands, or accept lots-in-lieu.

Where a development is designed to achieve LEED, Energy Star or other similar sustainable development certification system or equivalent, and no land is available on the site to be conveyed for parkland, then the Township may reduce the amount to be paid as cash-in-lieu of parkland, by the value of the part of the site that meets the sustainability criteria.

iii) The Township shall not accept as part of the parkland conveyance,

lands required for drainage purposes, stormwater management facilities, connecting walkways, lands which are susceptible to flooding or erosion, steep valley slopes, wetlands, associated buffer areas including top-of-bank and meander belt setbacks, including any lands designated “Natural Hazard Area”, “Environmental Constraint Area” or “Environmental Potential Areas 1 and 2” or other lands unsuitable for development, unless the Township has entered into an agreement providing otherwise where the lands will contribute significantly the Township’s trail system or the provision of other recreation facilities.

- iv) All parkland conveyed to the Township shall be conveyed in a physical condition satisfactory to the Township and in accordance with the policies, practices and guidelines of the Township.
- v) The Township, in order to implement the Parks, Recreation and Cultural Strategic Master Plan may close or reconfigure existing parks and other facilities in order to allow for the achievement of new, enhanced recreation facilities.

### **3.9 Public Sector**

It is the objective of this Plan to achieve the agreement of all public agencies involved in any aspect of development in the Township of Uxbridge, to comply with the policies of this Plan, the regulations of the zoning by-law and other related policies, regulations and guidelines, in order to achieve the implementation of the policies of the Plan.

### **3.10 Secondary Plans**

- i) Secondary Plans, shall be prepared as required in accordance with the policies of this Plan. Such plans shall be adopted as an amendment to this Plan. It is the intent of this Plan that the Township may prepare Secondary Plans for the Hamlets within the Township. These Secondary Plans shall be prepared in accordance with the requirements of the Durham Regional Official Plan and, where applicable Section 1.8.7 of this Plan.
- ii) Secondary Plans shall generally provide more detailed policy direction than the Official Plan with respect to specific issues related to the Secondary Plan area.
- iii) Secondary Plans shall generally conform to, and be designed to implement the policies of this Plan. However, where there is a conflict between the policies of the Official Plan and the Secondary Plan, the Secondary Plan policies will supersede those of the Official Plan for the area which is the subject of the Secondary Plan. However, where there is a Provincial Plan in effect, the policies of that plan will take precedence over the Official Plan and the Secondary Plan.

### **3.11 Property Standards**

#### **3.11.1 Minimum Standards**

The Township shall maintain, and update as required, its Property Standards By-law in accordance with the Ontario Building Code.

#### **3.11.2 Property Standards Enforcement**

- i) The Township shall appoint a Property Standards Officer who will be responsible for administering and enforcing the By-law.
- ii) The Township shall also appoint a Property Standards Committee for the purpose of hearing appeals against an order of the Property Standards Officer.

### **3.12 Legislation Under The Municipal Act**

The Township shall review existing legislation pursuant to the Municipal Act and amend it as required.

### **3.13 Capital Works**

It is intended that the Township shall prepare a capital works programme in conformity with the proposals and policies of this Plan and coordinate the programme with the Region's Capital Works Program. The Plan will allow the Township to assess immediate and long-term requirements and plan major expenditures taking into account all the financial resources available to the Township. The programme would be reviewed annually.

### **3.14 Public Meetings**

The Township may make minor modifications to the Official Plan or zoning by-law amendments which do or are similar to the following without any public notice or meeting, but the changes shall be provided to Council at a Council meeting for their information:

- i) changes to the numbers of sections or order of sections, but does not add or delete sections;
- ii) consolidates previously approved amendments in a new document without altering any approved policies or maps;
- iii) updated lot fabric;

- iv) corrects grammatical or typographical errors; and,
- v) changes references to legislation where the legislation has changed.

In all other instances, notification to the residents of the Township of public meetings in accordance with the Planning Act shall follow the procedures required by the Act.

### **3.15 Amendments and Plan Review**

The Township may initiate amendments to this Plan at any time to revise or incorporate new objectives, policies and specific designations, and will review this Plan as a whole at appropriate intervals to ensure its continuing relevance.

### **3.16 Development Application Pre-Consultation and Submission Requirements**

#### **3.16.1 Pre-Consultation**

- i) Consultation with the Township prior to the submission of a development application requiring Planning Act approval is encouraged, and shall be required for applications for Official Plan amendments, Zoning By-law amendments, draft plans of subdivision, draft plans of condominium, development permits and site plans. Consultation may also be required for Committee of Adjustment applications as deemed appropriate by the Township. As part of the pre-consultation process, the Township may involve other agencies including Durham Region and the applicable conservation authority.
- ii) The Planning Act and its regulations prescribe the submission of certain information and materials as part of development applications. The Township may require information and materials to support any development application in addition to that prescribed, including maps, drawings, reports and technical studies. The specific requirements for an application to be deemed to be a “complete” application, shall be determined by the Township as part of the pre-consultation process, in consultation with the appropriate agencies including Durham Region and the applicable conservation authority.

#### **3.16.2 Required Information and Materials**

Unless an exemption is granted by the Township in writing as part of the pre-consultation process, the following information and materials shall be required to be submitted as part of an application for an Official Plan

amendment, Zoning By-law amendment, draft plan of subdivision, draft plan of condominium, development permit and site plan, and shall be requested as required as applicable for other applications, including a Committee of Adjustment application if deemed appropriate by the Township:

i) Uxbridge Urban Area  
 In the Uxbridge Urban Area, in addition to the requirements of subsection iv) of this section, the following studies shall be required as set out in Section 2 of the Official Plan:

Functional Servicing Study	Section 2.2.4.2
Market Impact	Section 2.5.16.3.1 i)
Corridor Commercial Area Development	Section 2.5.16.3.6
Employment Area Development	Section 2.3.18.5.2 (up to end of first ii)
Recreational Mixed Use Development	Section 2.5.23.3.1 ii)
Brock St. Mixed Use Area	Section 2.5.24.4.1 iii), iv), v) & Section 2.5.24.4.2
Lands in the Oak Ridges Moraine	Studies required by the Oak Ridges Conservation Plan

ii) Hamlet of Coppins Corners and Adjacent Lands  
 In the Hamlet of Coppins Corners and Adjacent Lands, the required information and material shall be as set out in Section 5.7, Development Review of the Hamlet of Coppins Corners and Adjacent Lands Secondary Plan, Section 5 of the Official Plan. In addition to other requirements of the Secondary Plan, Section 5.2 Servicing Strategy includes detailed submission requirements as does Section 5.7.3 xiv), and urban design guidelines are required in accordance with Section 5.7.3 xv). In addition, lands other than those in the northwest quadrant of the Hamlet will also be subject to any relevant information requirements of the Oak Ridges Moraine Conservation Plan.

iii) Hamlet of Goodwood  
 In the Hamlet of Goodwood, the required information and material shall be as set out in Section 6.7, Development Review of the Hamlet of Coppins Corners and Adjacent Lands Secondary Plan, Section 6 of the Official Plan. In addition to other requirements of the Secondary Plan, Section 6.2 Servicing Strategy includes detailed submission requirements as does Section 6.3.3.3 with

respect to a natural heritage or a hydrological evaluation. In addition, all lands in the Hamlet will also be subject to any relevant information requirements of the Oak Ridges Moraine Conservation Plan.

iv) Uxbridge Urban Area and Other areas of the Township

In the Uxbridge Urban Area and other areas of the Township, the following information and material prepared at the applicant's expense, and carried out by a qualified professional as determined by the Township, shall be submitted:

a) Background Information

A plan of survey of the subject site identifying all existing significant trees, other significant landscape features, existing buildings and structures and contours.

b) Planning Justification Report and Plans

A planning justification report and plans, including, where applicable, site grading and landscaping plans, elevations, and other documentation:

- describing the proposed development and its relationship to the existing streetscape in particular building envelopes, accesses and parking areas:
- demonstrating how stormwater, erosion and sedimentation will be controlled on site: and,
- describing proposed landscaping and any modifications to existing significant trees and landscaping; and.
- in the Urban Area demonstrating how the development will be integrated with the Natural Heritage System established in Section 2.3 of the Plan.

Such plans should include where applicable a draft plan of subdivision or condominium.

c) Oak Ridges Moraine

Where the site is located in the Oak Ridges Moraine, proposals shall be evaluated with respect to the information

submission requirements of the Oak Ridges Moraine Conservation Plan.

d) Greenbelt

Where the site is located in the Greenbelt outside of the Oak Ridges Moraine, proposals shall be evaluated with respect to the information submission requirements of the Greenbelt Plan.

e) Engineering Considerations

- Functional servicing study or servicing plan;
- Master drainage study;
- Stormwater management study;
- Hydrogeology, soils slope instability and/or geotechnical study;
- Hydraulic analysis for flood plain delineation;
- Erosion and sediment control plan
- Water balance

Water balance and hydrologic assessments should be scoped with the Conservation Authority prior to their undertaking.

f) Noise Impact Study

A noise impact study shall be carried out where residential uses or other sensitive uses, as defined by Ministry of the Environment guidelines, are proposed and the site is adjacent to a major noise source such as an arterial road, railway or industrial use.

Further, the requirements of the Ministry of the Environment guidelines, "Noise Assessment Criteria in Land Use Planning, October, 1995" or any successor thereto, with respect to the need for noise impact studies shall apply to new commercial, industrial or institutional development which is a potential major noise source, such as, but not limited to, uses which have associated with them on-going construction activity, outdoor heat rejection systems (including cooling towers) and outdoor exhaust fans, or other stationary noise sources such as railway yards, major truck stops, major hydro transformers, or natural gas compressors. Where required by the guidelines, a noise impact study shall be carried out to the satisfaction of the Township.

g) Vibration Study

A vibration study shall be required at the request of the Region, the Township or the applicable railway where the site is within 75 metres (246 feet) of a railway right-of-way or an arterial road. Such a study shall be carried out to the satisfaction of the Township, in consultation with the appropriate government agency or railway.

Further, where new industrial development, which is a potential major source of vibration, such as metal forming industries including punch presses or drop forges, is proposed within 75 metres (246 feet) of existing residential development, a vibration study shall be carried out to the satisfaction of the Township.

h) Cultural Heritage Impact Assessment

Where the site includes a building of architectural and/or historical merit designated under the Heritage Act or is located in a designated Heritage Conservation District, or is identified in the Township's Register of Cultural Heritage Resources, a cultural heritage impact assessment, prepared by recognized professional(s) in the field, shall be required to be submitted to the Township. Such a study shall demonstrate to the satisfaction of the Township that:

- the proposal will not adversely impact the heritage significance of the property or the area in which it is located; or,
- demonstrate that it is not physically feasible to maintain the heritage building or structure.

Relocation of built heritage resources in accordance with Section 1.4.2 c) shall only be considered through a cultural heritage impact assessment that addresses retention and relocation.

i) Archaeological Resource Assessment

Where there may be archaeological remains of prehistoric and historic habitation, or areas containing archaeological potential within a site, a Phase I Archaeological Assessment

conducted by archaeologists licensed under the Ontario Heritage Act shall be required. In addition, the provisions of the Cemeteries Act and its regulations shall be applied when marked and unmarked cemeteries or burial places are encountered during development, assessment or any activity.

j) Land Use Compatibility

Where applicable, information or necessary studies shall be provided to assist in the establishment of a separation distance, having regard for the Ministry of the Environment guidelines “Compatibility Between Industrial Facilities and Sensitive Uses”, between proposed development and potentially incompatible uses.

k) Soil Quality

The applicant must demonstrate that on-site soil quality is suitable for the proposed use. Where site remediation is required the Township shall be satisfied with respect to the implementation of remediation prior to development approval. Specifically, where the Township, other public body, or the applicant has identified potential site contamination, the Township shall require the applicant to complete a Phase 1 assessment, in accordance with the Ministry of the Environment’s Guidelines for Use at Contaminated Sites in Ontario. The Phase 1 Environmental Site Assessment will be reviewed by the Township to ensure there is no contamination prior to the granting of any development approvals. If there is evidence of contamination, the applicant will be required to submit a Phase 2 assessment in accordance with the Ministry of the Environment’s Guidelines. If the site is found to be contaminated, the Township shall require the applicant to submit a Ministry of the Environment acknowledged Record of Site Condition to the Township to verify site clean-up prior to the granting of a building permit.

l) Transportation and Traffic Impact Study

Where the Township and/or Region has identified concerns with traffic impacts, a Transportation and Traffic Impact Study carried out by a qualified transportation engineer shall be required. The purpose of the study is to assess the

impact of the proposed development on the transportation system and to identify mitigating measures and design solutions. A pedestrian and bicycle circulation plan may also be required.”

m) Air Quality

Where the Township identifies concerns with impacts on air quality, appropriate studies by qualified professional(s) shall be required.

n) Other Environmental Studies

- Tree inventory and preservation study;
- Demarcation of physical and stable top of bank;
- Demarcation of limits of natural heritage and hydrologic features;
- Fish habitat assessment;
- Natural features restoration plan.

o) Financial Considerations

- Market impact study;
- Financial impact study;
- Capital impact assessment.

p) Lake Simcoe Protection Plan

Where the site is located in the Lake Simcoe Protection Plan Area, proposals shall be evaluated with respect to the information submission requirements of the Lake Simcoe Protection Plan.

q) Environmental Impact Study

An environmental impact study shall generally be required for any development applications and/or site alteration for lands inside or in proximity to the Environmental Constraint Area designation or Environmental Potential Area overlay designation within the urban area, and for lands inside or within 120 metres to the Environmental Constraint Area designation or Environmental Potential overlay designation outside the urban area to better define the exact preservation requirements, buffer widths required to maintain feature, form and functions and boundaries. As indicated in Section 2.3 of this plan, an environmental impact study shall be undertaken in accordance with the Terms of Reference

defined by the Township, in consultation with the Conservation Authority, and in accordance with the provisions of the Durham Regional Official Plan.

r) Tree Analysis

Where new development is to occur on a piece of land which the Township identifies as having trees which may warrant preservation or replacement, a tree preservation and planting plan shall be developed either at the time of application or as a condition of approval at the direction of the Township.

Such a plan shall:

- address the nature and condition of the tree resources potentially affected by the development;
- provide recommendations for tree retention and removal based on the quality of the trees, species tolerance, proposed development impacts and opportunities for mitigation, as well as a program for replanting and vegetation enhancements for new development which impacts on tree stands; and,
- address the impact of the development on any abutting lands in the Natural Hazard Area overlay designation, Environmental Constraint Area designation and Environmental Protection Area overlay designation in the Urban Area or other environmental designations outside the Urban Area, and the woodlot management and edge/interior protection measures required to protect such areas during and after the initiation of construction.

Based on this analysis, controls will be placed on the trees to be removed, the amount and type of new landscaping to be provided on the site and related management and construction procedures through the Subdivision, Condominium or Site Plan Control Agreements.

s) Natural Hazard Land Study

A Natural Hazard Land Study shall be carried out for any proposed development and/or site alteration for lands within

the Natural Hazard Area overlay designation and shall define and address any hazards associated with flooding, erosion, steep slopes, and unstable soils.

t) Wellhead Protection Areas (WHPA)

Where a site is located in a WHPA as described in Section 1.10.2.3 of this Plan and shown on Schedule “L”, a Section 59 Notice under the *Clean Water Act, 2006* shall generally be required from the RMO for an application to be deemed complete. The Notice is required because certain activities within WHPAs identified in Section 1.10.2.4 of this Plan, and as set out in the approved Source Protection Plans, may be prohibited or require a Risk Management Plan.

In addition, the following requirements may apply to development applications located within the WHPA-Q1/Q2 area.

- a) if located in a WHPA-Q1, development applications for new development or changes to existing development may require approval for a new or amended Permit to Take Water from the Ministry of the Environment and Climate Change (MOECC) in accordance with the applicable Source Protection Plan and *Ontario Water Resources Act*, or,
- b) if located in a WHPA-Q2, a Water Balance Study, or similar study, may be required to the satisfaction of the Township, in accordance with the applicable Source Protection Plan and in consultation with the applicable Conservation Authority, in order to demonstrate that pre-development recharge rates will be maintained.

v) Other Information

In addition to the requirements of Sections i)-iv), the applicant shall be required to submit any other supporting information and materials that may be identified by the Township during the pre-consultation process as being relevant and necessary to the evaluation of the particular application.

### **3.16.3 Scale, Scope and Timing of Submissions**

- i) The scale, scope and timing of any required information and material, particularly any reports and technical studies, is

dependent on the nature of the proposal, its relationship to adjacent land uses and the type of planning approval required.

- ii) The Township may, and where directed by this Plan shall, at its discretion, and after consultation with the applicant, require that the required reports and studies be carried out by a consultant retained by the Township at the cost of the applicant. The Township may also, as an alternative, require a peer review by an appropriate public agency or by a professional consultant retained by the Township at the applicant's expense. In either case, the applicant shall have input to the establishment of the terms of reference for such a study or peer review and a specific cost limit shall be established prior to the commencement of the study.

#### **3.16.4 Complete Application**

An application for an Official Plan amendment, Zoning By-law amendment, draft plan of subdivision or draft plan of condominium shall be considered complete under the Planning Act only when all the following items have been provided to the Township:

- i) an application form;
- ii) any information or materials prescribed by statute;
- iii) a pre-consultation form;
- iv) any supporting information or materials required to be provided in accordance with Section 3.16.2; and,
- vi) the prescribed application fee."

### **3.17 Development Permit By-law**

#### **3.17.1 Development Permit By-law Areas**

The Township may, instead of amending the comprehensive zoning by-law under the provisions of Sections 34 and 39 of the Planning Act to conform with and give effect the provisions of this Plan in accordance with Section 3.2.1 of this Plan, pass a development permit by-law for the following areas or any portion of them:

- i) Oak Ridges Moraine Conservation Plan Area;
- ii) Greenbelt Plan Area; and,
- iii) Uxbridge Urban Area Downtown as designated on Schedule "A".

### **3.17.2 Goals**

#### **3.17.2.1 Oak Ridges Moraine Conservation Area/Greenbelt Plan Area**

To provide a regulatory approach which will better ensure the protection of the natural environment in these sensitive areas, particularly key significant natural heritage and hydrological features.

#### **3.17.2.2 Uxbridge Urban Area Downtown**

To provide a regulatory approach which will encourage intensification, while ensuring high quality urban design which is sensitive to the cultural attributes of this community focal point.

### **3.17.3 Criteria**

All classes of development or any use of land permitted by this Plan in the applicable development permit area may be included in the development permit by-law; however, the Township may exempt certain classes of development or uses of land such as agricultural and agricultural secondary uses and small accessory buildings from the need for a development permit. Exemptions may be considered in the Oak Ridges Moraine Conservation Area/Greenbelt Plan Area where there is no concern with impacts on key natural or hydrological features, and in the Downtown where there is no concern with impacts on adjacent development

### **3.17.4 Conditions**

The types of conditions which may be included in any development permit by-law shall relate to any matter which implements the policies of this Plan and may include, but shall not be limited to a condition related to:

- i) the removal or restoration of vegetation;
- ii) site alteration including but not limited to the alteration or restoration of the grade of land and the placing or dumping of fill;
- iii) ongoing monitoring requirements;
- iv) the provision of specified facilities, services and matters in exchange for specified height or density of development within specific ranges;
- v) the provision of features which enhance the sustainability of a development;
- vi) matters that would otherwise be prohibited for land described in paragraphs 3, 3.1 or 3.2 of subsection 34(1) of the Planning Act;

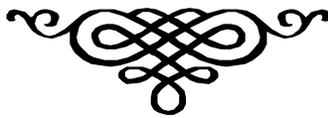
- and,
- vii) a requirement for the owner to enter into an agreement with the Township related to one or more conditions being imposed related to the development permit.

### **3.17.5 Delegation of Authority**

Council may delegate to a Committee of Council or the Manager of Development Services the authority to:

- i) approve or refuse applications;
- ii) issue development permits;
- iii) impose conditions on development prior to the issuance of a permit;
- iv) attach conditions to a permit;
- v) enter into agreements with respect to conditions imposed in relation to development permits.

## **SECTION 4 INTERPRETATION**



## 4 INTERPRETATION

- 4.1 Unless otherwise specified below, deviation from the text and Schedules of this Plan will require an amendment to this Plan.
- 4.2 In order to provide for flexibility in the interpretation of the numerical figures and quantities in the text and Schedules, it is intended that such figures and quantities be considered to be approximate, and that for the purposes of preparing Zoning By-laws, development permit by-laws, subdivision approvals or otherwise, minor deviations may be permitted without amendment to this Plan, provided that such deviations do not alter the intent of this Plan.
- 4.3 The examples of permitted uses included within this Plan illustrate the range of activities in each land use designation. Specific uses shall be defined for an area at such time as the Zoning By-laws come into effect.
- 4.4 The external boundary of the Uxbridge Urban Area on Schedules “A” through “L” is fixed for a minimum of ten years from December 15, 2004. It will be reviewed in accordance with the provisions of the Oak Ridges Moraine Conservation Act and the Greenbelt Act. However, no expansion or lot creation may occur where the boundary would encroach into lands designated “Natural Core Area” or “Natural Linkage Area” in the Oak Ridges Moraine Conservation Plan and Durham Regional Official Plan. Urban boundary expansion may also not encroach into the “Greenbelt Natural Heritage System” of the Greenbelt Plan and the Durham Regional Official Plan. Further, any boundary expansion shall only be considered as part of a municipal comprehensive review.

The internal boundaries as shown on Schedules “A” through “L” are considered to be approximate. Such internal boundaries are considered fixed only where bounded by roads, watercourses, railways or other clearly recognizable physical features. Amendments to the Uxbridge Urban Area Secondary Plan will not be required in order to make minor adjustments to internal boundaries of land use designations, the location of roads or other internal boundaries provided the general intent of the Plan is maintained.

- 4.5 Where reference is made to Council in the text of this Plan, it shall-mean the Council of the Township of Uxbridge.
- 4.6 The external boundary of the Hamlet of Coppins Corners on Schedule “F” is fixed for the period of this Plan and will not be expanded. The internal boundaries as

shown on Schedule “F” are considered to be approximate. Such internal boundaries are considered fixed only where bounded by major roads, major watercourses, railways or other clearly recognizable physical features. Amendments to the Hamlet Secondary Plan will not be required in order to make minor adjustments to internal boundaries of land use designations, the location of roads or other internal boundaries provided the general intent of the Plan is maintained.

**SECTION 5 HAMLET OF COPPINS CORNERS AND  
ADJACENT LANDS SECONDARY PLAN**



## 5.1 INTRODUCTION

### 5.1.1 Purpose

The Hamlet of Coppins Corners and Adjacent Lands Secondary Plan establishes policies with respect to servicing, natural heritage, community design, land use, and transportation to guide the planning of the Hamlet Area and surrounding lands. The Plan provides a planning framework for the Township, existing and future residents, land owners, other levels of government and other interested groups.

### 5.1.2 Secondary Plan Area

The Secondary Plan Area on Schedule “F” is as follows:

- i) The portion of the Hamlet of Coppins Corners in the Secondary Plan is bounded by:
  - a) North North lot line of Lot 16, Concession IV
  - b) East Brock Road (Regional Road 1) and existing hamlet development
  - c) South Goodwood Road (Regional Road 21)
  - d) West An irregular line which generally follows the edge of a 10 metre (33 foot) wide environmental buffer area measured from the drip line of a wooded area and is approximately 1020 metres (3350 feet) west of Brock Road.
  
- ii) The amendment also applies to lands adjacent to the northwest quadrant of the Hamlet generally bounded by:
  - a) North Regional Highway 47
  - b) East Brock Road (Regional Road 1)
  - c) South Hamlet Boundary and Goodwood Road (Regional Road 21)
  - d) West Concession Road 4.
  
- iii) The portion of the Hamlet west of Brock Road and south of Goodwood Road is bounded by:
  - a) North Goodwood Road (Regional Road No. 21)
  - b) East Brock Road (Regional Road No. 1)

- c) South            The half lot line of Lot 15, Concession IV
  - d) West            An line which follows the edge of an existing subdivision and is approximately 244 metres (800 feet) west of Brock Road.
- iv) The portion of the Hamlet east of Brock Road is irregularly shaped and reflects existing historic development which forms part of the Hamlet as identified in Schedule “F” of this Plan.

**5.1.3 Secondary Plan Structure**

The Secondary Plan includes Schedule “F”, Land Use and Transportation Plan Hamlet of Coppins Corners and Adjacent Lands. The Plan policies are structured as follows:

- i) Section 5.2    Servicing Strategy
- ii) Section 5.3    Natural Heritage System
- iii) Section 5.4    Community Design Strategy
- iv) Section 5.5    Land Use Strategy
- v) Section 5.6    Transportation Strategy
- vi) Section 5.7    Development Review

**5.1.4 Planning Period**

The planning period for the Secondary Plan is from 2000 to 2031.

**5.1.5 Population and Employment**

**5.1.5.1      Population**

The population of the Hamlet of Coppins Corners was estimated to be between 150-168 in 1996. It is anticipated that the population of this area would increase to between 525 and 545 people during the planning period (2000 - 2031). The population of the adjacent lands is estimated to be about three, and no change for this area is planned during the planning period.

**5.1.5.2      Employment**

Employment opportunities in the Hamlet are limited and include a few commercial and commercial/industrial operations. It is assumed that this situation will be maintained during the planning period with the potential

for intensification of existing uses and the development of two additional non-residential sites. In addition, employment will occur in the industrial parks west and east of the Hamlet in the rural area on Regional Highway 47. Employment will also occur throughout the rural area with resource and recreation development, including the proposed adjacent golf course, agriculture and aggregates.

## **5.1.6 Oak Ridges Moraine Area**

### **5.1.6.1 Purpose**

The Secondary Plan Area is located on the Oak Ridges Moraine. The Oak Ridges Moraine provides a wide range of environmental functions critical to the maintenance of healthy water resources and natural heritage values in the Greater Toronto Area. The Province has established the Oak Ridges Moraine Conservation Plan to protect the sensitive and significant features of the Moraine through the planning and development process.

### **5.1.6.2 Development Applications**

All development applications in the Secondary Plan Area shall only be considered by the Township in accordance with the other policies of this Plan, in particular the policies of Section 1.9. Notwithstanding the policies of this Plan, where an Official Plan amendment is required, such applications shall also be reviewed in accordance with the applicable policies of the Oak Ridges Moraine Conservation Plan, unless otherwise noted in this Plan. However, notwithstanding the foregoing, Regional File No. OPA 99-007(OMB File No. O000042), Township Files OPA-22(OMB File No. O000043) and ZBA 99-07 (OMB File No. Z000025) and any applications which implement them, including applications for site plan, plan of condominium and plan of subdivision, shall only be subject to the policies of Part V, Section 48 of the Oak Ridges Moraine Conservation Plan.

## **5.2 SERVICING STRATEGY**

### **5.2.1 Purpose**

The Servicing Strategy, in conjunction with the other policies of the Secondary Plan, is intended to provide direction with respect to the servicing and development of the community in an environmentally responsible manner which will ensure the health and safety of residents and the environment, including groundwater function, in conformity with provincial and regional policies.

In particular, the policies are designed to ensure that development of each property occurs in an environmentally responsible manner in accordance with the following groundwater development objectives:

- i) Maintenance of pre-development groundwater infiltration within the property. Groundwater infiltration shall be maintained and enhanced with respect to existing (pre-development) rates.
- ii) Maintenance of groundwater quality in aquifer systems including strict compliance with the Ministry of Environment Guideline B-7.
- iii) Provision of a detailed monitoring plan to the satisfaction of the Township of Uxbridge, Region of Durham, Conservation Authority and other approval and relevant commenting agencies to allow assessment of the potential impact of the property on local groundwater quality and quantity.
- iv) Provision of detailed contingency plans to allow mitigation of any adverse impacts (i.e. impacts that result in exceedance of established groundwater quality criteria) to ground water quality or quantity arising from the development.
- v) Provision of detailed construction management plans for earthworks, which recognize that the property will (or may) be developed in stages or phases over an extended period of time.

### **5.2.2 Stormwater Management**

Prior to the final approval of plans of subdivision, plans of condominium or other significant new development applications in the Secondary Plan Area, a stormwater management plan and associated landscaping plan must be prepared by the applicant, and approved by the Township, in consultation with the Region of Durham and the

Conservation Authority. Such plans must be prepared based on terms of reference approved in advance by the Township, in consultation with the Region of Durham and the Conservation Authority. In the case of the golf course/hamlet residential development, the plan will be prepared for the combined development, although each component of the development may proceed independently.

In addition, a detailed water balance model shall be prepared for the combined golf course/hamlet residential development for pre- and post-development conditions. The post-development conditions will be based on the final site grading and configuration. The water balance model must be conducted using a methodology acceptable to, and approved in advance by the Conservation Authority, in consultation with the Township of Uxbridge, and the Region of Durham. The water balance model must account for changes in site characteristics following development including, but not limited to:

- i) Earthwork activities (cut and fill) and their potential impact on the overall site infiltration;
- ii) The proposed storm water management scheme for the property, including storm water management ponds, infiltration facilities, and other similar features; and,
- iii) Potential interim changes to the water balance during the construction of the development, particularly if the development is constructed in a number of phases.

The water balance must demonstrate that the rate of infiltration on the property is maintained or enhanced relative to existing pre-development conditions. The rate of infiltration shall be maintained, on an area basis within each pre-development surface water catchment area, provided that it shall not drop below 80% of the pre-development situation in any of the pre-development catchment areas.

### **5.2.3 Sewage Disposal and Water Facilities - New Development**

- i) All new development in the Secondary Plan Area shall generally be serviced by private wells and sewage disposal systems in compliance with the standards of the Ministry of Municipal Affairs and Housing and the Ministry of Environment, with the exception of the proposed communally serviced combined golf course/hamlet residential development.
- ii) The proposed combined golf course/hamlet development shall be serviced by a communal water and sewage disposal system, the facilities for which may be located outside the Hamlet boundary as part of the golf course development. Such a system must be approved by the Region of Durham or the Province prior to site plan approval and/or final approval of a plan of subdivision and/or plan of condominium in accordance with policies established in Section 5.4.5 of the Regional Official Plan. In approving such a system, the Region or the Province shall ensure that the issue of well interference with existing wells is addressed, and a letter of credit is provided to remedy any potential well interference with surrounding landowners.

In addition:

- a) The proponent must demonstrate that the proposed sewage treatment system complies with the Ministry of the Environment Guideline B-7 requirements or its successor; and,
  - b) A detailed contingency plan, including financial securities, must be provided to upgrade the sewage treatment facilities in the event that non-compliance with the Ministry of Environment Guideline B-7 requirements or its successor is predicted from the monitoring program.
- iii) Notwithstanding the foregoing, where new development is proposed on lands designated “Hamlet Institutional/Commercial Area” on Schedule “F” on the west side of Brock Road (Regional Road 1) north of Regional Road 38, the Township, subject to detailed review and the approval of the Region of Durham, may consider the extension of the communal services to service the development.

#### **5.2.4 Sewage Disposal and Water Facilities – Existing Development**

- i) All existing development in the Secondary Plan Area is, and will continue to be, individually serviced with private wells and sewage disposal systems.
- ii) The Township will work with the Region to ensure that existing private wells and sewage disposal facilities comply or are upgraded to comply with the standards of the Region and the Ministry of Environment and any other relevant legislation.
- iii) The creation of new infill lots in any area of the Hamlet, other than the northwest quadrant as described in Section 5.1.2 ii) of this Plan, shall be prohibited.

#### **5.2.5 Site Grading**

Prior to the final approval of plans of subdivision, plans of condominium, site plans or other significant new development applications in the Secondary Plan Area, the following must be prepared, and approved based on terms of reference approved in advance by the Township, in consultation with the Conservation Authority:

- i) a site-grading plan, indicating existing and post-development site grades; and,
- ii) a detailed construction management plan for all fill operations.

In the case of the golf course/hamlet residential development, the plans will be prepared for the combined development. In addition, the management plan will include, at a minimum, the following:

- i) the specification for source materials to be used as fill including grain size distribution and chemical quality, in accordance with the Ministry of Environment

Guidelines for Use at Contaminated Sites in Ontario;

- ii) the fill placement and compaction procedures including typical lift thickness and degree of compaction;
- iii) an on-site monitoring plan, to be supervised by an independent consultant, which confirms that the fill quality and placement are in accordance with the construction management plan; and,
- iv) an indication of the likely staging or phasing of the site grading along with the approximate construction schedule.

### **5.2.6 Ground and Surface Water Monitoring**

- i) A detailed ground and surface water monitoring program shall be developed and approved by the Region of Durham, in consultation with the Township of Uxbridge and the Conservation Authority. The plan shall permit monitoring of the impact of the development on ground and surface water quality, and quantity, and infiltration to include a pre-construction period, the construction period, and the post-construction period (in perpetuity). At a minimum, the program shall include the following:
  - a) monitoring of groundwater levels and quality in the water table aquifer across the property;
  - b) monitoring of groundwater levels and quality in the water supply aquifer (intermediate aquifer as defined by W.B. Beatty & Associates);
  - c) monitoring of the performance of the communal water and sewage disposal system with respect to groundwater quality. In particular, the monitoring program must provide ample warning of impact from the communal system (i.e. must establish appropriate trigger levels) to groundwater quality so that a contingency plan may be implemented, before any adverse off-site impacts occur;
  - d) monitoring of potential impact of the development on water quality and quantity in existing supply wells on adjacent properties subject to the co-operation and permission of the owners of the adjacent properties; and,
  - e) monitoring of water level and flow conditions and water quality in the Duffins Creek and Pepperlaw Creek watersheds.
- ii) An annual monitoring report shall be prepared and submitted for peer review to the satisfaction of the Region of Durham.

- iii) The proponent shall prepare detailed contingency plans to address the following:
  - a) potential impact on water quality and quantity in existing local water supply wells;
  - b) potential reduction in infiltration and shallow groundwater levels on the property; and,
  - c) potential impact to shallow ground water quality as a result of site development and stormwater management activities, including but not limited to road salt application, fertilizer, herbicide and pesticide application and sewage disposal.

### **5.2.7 Golf Course Management Plan**

Prior to site plan approval for any golf course, the proponent shall prepare a Golf Course Management Plan (using best management practices), to the satisfaction of the Township, in consultation with the Conservation Authority and the Region of Durham. The recommendations of the Golf Course Management Plan shall, where appropriate, be included as conditions of site plan approval and shall survive such site plan approval.

The Golf Course Management Plan shall include a detailed water management plan for the irrigation system for the development. The water management plan shall be based on the final development proposal and will account for the phasing and staging of the development, including contingency plans if the development does not proceed in accordance with the phasing and staging plan.

## 5.3 NATURAL HERITAGE SYSTEM

### 5.3.1 Purpose

A natural heritage system consists of natural features including forested areas, as well as parkland and trail systems and areas of significant wildlife habitat. The basis of this system already exists in the Hamlet of Coppins Corners and surrounding lands.

The key components of the Natural Heritage System in the Hamlet are:

- i) Major Forest Area;
- ii) Forest Area;
- iii) Environmental Buffer Area; and,
- iv) Park and Open Space Area.

These components link to a broader system being established throughout the Oak Ridges Moraine, including natural heritage features on adjacent lands.

Programs, studies and facilities which are designed to enhance the function of the Natural Heritage System include:

- i) Water Management;
- ii) Tree Planting and Conservation;
- iii) Trail System; and,
- iv) Natural Areas Management Plan.

The policies of this section, together with the designations on Schedule “F” are designed to protect the existing Natural Heritage System and provide for its enhancement, including the creation of additional linkages, and the identification of significant wildlife habitat during the review of specific development applications.

### 5.3.2 Major Forest Area

#### 5.3.2.1 Purpose

The Major Forest Area designation includes a major wooded area identified in the Secondary Plan area outside of the Hamlet and a related environmental buffer area.

### **5.3.2.2 Permitted Uses, Buildings and Structures**

The permitted uses of land within the area designated “Major Forest Area” on Schedule “F” shall be the conservation, enhancement and preservation of the natural environment and non-obtrusive/passive recreational uses which will have minimal impact on the natural environmental features and ecological functions of the area. No development or site alterations shall be permitted, with the exception of two walking/bicycle/golf cart paths. The southerly crossing is intended to connect the hamlet residential area with the golf course, while the northerly crossing connects the western and eastern parts of the golf course. The precise location of these crossings is subject to review and agreement with the Township, and the Conservation Authority. These paths are not to be used for vehicular traffic, except for golf carts.

### **5.3.2.3 Ownership**

- i) The subject lands are privately owned. The designation does not imply that the lands will be purchased by a public agency or that they are free and open to the public. The Township shall seek the maintenance and enhancement of the lands through the use of stewardship agreements, and/or dedication to a public agency; and/or establishment of a conservation easement and/or restrictive covenants.
- ii) Such lands shall not be acceptable as parkland dedication under the Planning Act.

### **5.3.2.4 Major Forest Area Boundaries**

The exact limits of the Major Forest Area designation identified on Schedule “F” have been staked in the field to the satisfaction of the Township and the Conservation Authority. They will also be zoned in a zoning category which implements the provisions of this Plan and reflected in any implementing site plan. The limits of the Major Forest Area designation reflect the dripline of the trees within the approximately 27 hectare (67 acre) treed area and includes a 10 metre (33 foot) environmental buffer measured from all parts of the dripline.

## **5.3.3 Forest Area**

### **5.3.3.1 Purpose**

The Forest Area designation includes wooded areas identified in the Secondary Plan area, other than the lands in the Major Forest Area designation.

### **5.3.3.2 Permitted Uses, Buildings and Structures**

The permitted uses of land within areas designated “Forest Area” on Schedule “F” shall be the conservation, enhancement and preservation of the natural environment and non-obtrusive/passive recreational uses which will have minimal impact on the natural environmental features and ecological functions of the area. Subject to the policies of Section 5.3.3.4, no development or site alteration will be permitted within the area designated “Forest Area” on Schedule “F”.

### **5.3.3.3 Ownership**

- i) The subject lands are privately owned. The designation does not imply that the lands will be purchased by a public agency or that they are free and open to the public. The Township shall seek the maintenance and enhancement of the lands through the use of stewardship, and/or dedication to a public agency; and/or establishment of a conservation easement and/or restrictive covenants.
- ii) Such lands shall not be acceptable as parkland dedication under the Planning Act.

### **5.3.3.4 Forest Area Boundaries**

The boundaries of the lands in the Forest Area 1, 2 and 3 designations on Schedule “F” can be refined as follows:

- i) Minor intrusions into this area are permitted without an amendment to this Plan, subject to the approval of the Township and the Conservation Authority; and,
- ii) Major intrusions are prohibited.

In determining whether an intrusion is minor or major, a functions and features approach, as determined by the Conservation Authority, shall be applied so that important functions and features of the Forest Area shall be preserved.

## **5.3.4 Environmental Buffer Area**

### **5.3.4.1 Purpose**

Environmental buffer areas shall generally be provided around lands in the Major Forest Area and the Forest Area designations, with the exception of Forest Areas 1, 2 and 3, to minimize potential conflict between human

activities and sensitive environmental features, and to ensure that there are no adverse effects on the natural features or the related ecological functions. The buffer areas will also be designed to maintain, and where possible improve and restore the health, diversity and size of the natural features and their connectivity with other features.

#### **5.3.4.2 Major Forest Area Buffer Area**

The size and extent of the environmental buffer area around the lands designated “Major Forest Area” shall be 10 metres (33 feet) from the dripline of the forest. This buffer has been staked in the field to the satisfaction of the Conservation Authority and shall be zoned in the same zone as the lands in the Major Forest Area designation.

#### **5.3.4.3 Forest Area Buffer Area**

The size and extent of environmental buffer areas for lands designated “Forest Area”, the form they take and the uses permitted shall be established through the Environmental Impact Study and/or other information required by the Township, in consultation with the Region of Durham and the Conservation Authority, as part of the review of any development application for lands abutting lands in the Forest Area designations. However, no buffer shall be required around Forest Areas 1, 2 and 3.

#### **5.3.4.4 Development Status**

Environmental buffer areas shall not form part of an individual residential lot intended for development. Where a buffer area is adjacent or contiguous with a lot intended for development, fencing may be required. The requirement for such fencing and the detailed (location and type) of such fencing will be to the satisfaction of the Township and the Conservation Authority. If such fencing is required then it shall be made a condition of site plan, plan of subdivision and/or plan of condominium approval.

### **5.3.5 Park and Open Space Area**

#### **5.3.5.1 Purpose**

The intent of the Park and Open Space Area component of the Natural Heritage System is to provide a full range of active and passive recreation facilities, unlike the Forest Areas where any development must be restricted and recreation opportunities are necessarily limited.

#### **5.3.5.2 Parkland Hierarchy**

- i) The Parkland Hierarchy outlined in Table 5.1 to the Plan which has been established for the Uxbridge Urban Area is applicable also to the Hamlet of Coppins Corners and Adjacent Lands. The Hierarchy will be used as a guide to the development of the Parkland System recognizing that it is not intended to develop any significant new additional local or community parks in the Hamlet, with the exception of the northwest quadrant of the Hamlet.
- ii) A minimum of one new local park shall be located in the northwest quadrant of the Hamlet of Coppins Corners as a focal point for the development of that portion of the hamlet area. The park will be linked with the trail system proposed for the Hamlet in accordance with Section 5.3.8, and will provide facilities for both passive and active recreation uses.

<b>Table 5.1 Parkland Hierarchy</b>				
<b>Criteria</b>	<b>Local Park</b>	<b>Community Park</b>	<b>Natural Open Space Area</b>	<b>Design Feature</b>
Area/ Population	2 ha.(2.5 acres) /1,000 population	.5 ha (1.24 acres) /1,000 population	All available lands in the Environmental Core/Corridor and Forest Area designations which can be acquired	Variable to be determined on a site specific basis
Minimum Size	1.2 ha (3 acres)	4 ha. (10 acres)	Not applicable	Variable to be determined on a site specific basis
Location	i) minimum continuous road frontage on two sides of park; ii) adjacent to a collector road; and, iii) adjacent to an elementary school or other open space lands where possible.	i) minimum continuous road frontage on two sides; ii) adjacent to a collector or arterial road iii) adjacent to an elementary or secondary school or other major open space lands where possible	All available lands in the Environmental Core/ Corridor and Forest Area designations which can be acquired	At key locations such as gateways to the community or specific neighbourhoods, key intersections, adjacent to public buildings or at focal points for specific neighbourhoods
Service Area	0.4 to 0.8 km. radius (0.2 to 0.5 mile)	Hamlet Area and adjacent portion of the rural area	Township	Urban Area
Facilities	i) sports fields; ii) hard surface	i) major athletic facilities and/or standard sports	i) Trails ii) Picnic areas	Facility and landscaping

Table 5.1 Parkland Hierarchy				
Criteria	Local Park	Community Park	Natural Open Space Area	Design Feature
	play areas and components iii) play apparatus; iv) sitting areas; v) passive and free play areas; vi) landscaping appropriate to the park type; and, vii) parking areas.	fields; ii) other major recreation facilities such as bowling greens, tennis courts; iii) play apparatus; iv) water spray pad or other water play feature; v) hard surface play areas and components; vi) washroom facilities and servicing; vii) sitting and picnic areas; viii) passive and free play areas;  ix) gazebos, picnic shelters and other seasonal structures; x) landscaping appropriate to the park type; and, xi) parking areas.	iii) Conservation and education related features to be determined on a site specific basis	requirements to be determined on a site specific basis

### 5.3.5.3 Relationship of Park and Open Space Uses to Natural Heritage System

The Township will work to maximize the role of park and open space uses as components of the Natural Heritage System by:

- i) linking such uses to the community's trail system;
- ii) naturalizing a portion of such areas so there will be natural linkages to other parts of the Natural Heritage System; and,
- iii) designing new park facilities to enhance linkages within the Natural Heritage System.

### 5.3.6 Water Management

Good water management is an essential to maintain the quality of the Natural Heritage System. The Township will carry out water management in accordance with the policies of Section 5.2 of this Plan.

## **5.3.7 Tree Planting and Conservation**

### **5.3.7.1 Purpose**

Tree conservation and planting both within the Natural Heritage System and throughout the Secondary Plan Area provides a range of benefits to the environment. In addition, trees and other landscaping contribute to the quality of the design of the community.

### **6.3.7.2 Tree Planting and Conservation Objectives**

The Township shall also encourage the conservation of significant trees and the planting of new trees, woodlots and other vegetation in the Secondary Plan area.

### **5.3.7.3 Implementation**

The Township shall implement the tree conservation and planting objectives:

- i) through their management of Township lands, including the development of a tree planting program for public lands;
- ii) by working with other public agencies and private owners with respect to the lands they control;
- iii) through the review of development applications in accordance with the provisions of this Plan;
- iv) through the adoption of a Tree Cutting By-law with respect to lands in the Major Forest Area, Forest Area, Environmental Buffer Area, and Park and Open Space Area designations; and,
- v) through the enforcement of the regulations of the Durham Region Tree Conservation By-law.

### **5.3.7.4 Development Applications**

Tree preservation and planting plans shall be required as a condition of development for all applications requiring a zoning by-law amendment or site plan approval in accordance with the provisions of this Plan.

## **5.3.8 Trail System**

### **5.3.8.1 Purpose**

The Secondary Plan area has very few natural or human connections between the Hamlet development and the surrounding rural area, between the various parts of the natural heritage system or between the various developed parts of the hamlet. The creation of a formal trail system will increase connections for residents within the Hamlet and with the surrounding rural area. In addition, if plantings of native trees and shrubs are spaced along the trail system, they may also provide for wildlife movement.

#### **5.3.8.2 Trail System**

- i) The Township shall encourage the creation of a system of pedestrian/bicycle trails in the Secondary Plan area over time, and as is financially feasible to do so, generally in accordance with the trails plan illustrated on Schedule “F” to this Plan. Such trails will be landscaped with native trees and shrubs to enhance their use as wildlife movement corridors. The Township shall also encourage the connection of this system to other trails in the Township.
- ii) The Township will work with landowners and other interested public agencies and private groups to implement the trails system, including addressing issues such as ownership and maintenance.
- iii) Where new development is proposed on sites which have potential for inclusion in the trail system, a trails plan shall be prepared by the applicant and approved by the Township, in consultation with the Conservation Authority. Dedication of such lands to the Township, or the creation of easements allowing public use of such trails, shall be a condition of approval.

#### **5.3.8.3 Priority Trail Link**

The Township is developing a community wide system of trails and connecting links, working in conjunction with community representatives. The creation of a trail from Regional Highway 47, adjacent to Brock Road through the Secondary Plan area to Goodwood Road adjacent to the Major Forest Area is viewed as a priority for integration with the Township’s system. The Township will work with the owner to establish this link as part of the development of the golf course. Dedication of the land to the Township, or creation of an easement allowing public use of this trail shall be a condition of approval.

### **5.3.9 Natural Areas Management Plan**

A Natural Areas Management Plan shall be prepared to the satisfaction of the Township, in consultation with the Conservation Authority, prior to site plan approval

being granted for any golf course development. This Plan shall address the following matters (which matters and the recommendations there-from, shall be included as conditions of site plan approval):

- i) A Tree Retention and Edge Management Plan for all trees not contained within the Major Forest Area;
- ii) Detailed design of stormwater ponds to incorporate terrestrial and aquatic habitat;
- iii) A Significant Species Management Plan to ensure that all significant species will be maintained on site;
- iv) A Forest Management Plan to ensure the maintenance and enhancement of the Major Forest Area, including consideration of a connection between the Major Forest Area and Forest Area 1 to the satisfaction of the Conservation Authority. This connection will balance the ecological opportunity to connect the two forest areas to permit the movement of plants, animals, energy and genetic material, with the requirements of linkages between golf course elements;
- v) A Monitoring Plan to ensure that all of the above noted recommendations are implemented successfully; and,
- vi) A plan respecting opportunities for restoration or enhancement of all vegetated lands not used for residential, commercial or golf course development.

#### **5.3.10 Other Environmental Constraints**

Other than Regional File No. OPA 99-007(OMB File No. O000042), Township Files OPA-22(OMB File No. O000043) and ZBA 99-07 (OMB File No. Z000025) and any applications which implement them, including applications for site plan, plan of condominium and plan of subdivision, any development in the Secondary Plan Area shall be subject to the provisions of Section 1.9 of the Official Plan with respect to Areas of Aquifer Vulnerability and Landform Conservation Areas.

## **5.4 HAMLET COMMUNITY DESIGN STRATEGY**

### **5.4.1 Purpose**

The Township's Community Vision, as outlined in Section 1.2 of the Official Plan, reflects its unique character. Part of that character is determined by the design of the Hamlet of Coppins Corners, both in existing and new development areas. This section outlines general design policies for the Hamlet.

### **5.4.2 General Design Policies**

#### **5.4.2.1 Streets and Streetscapes**

The design of the street system, whether in public or private ownership, as well as the configuration of lots and siting of buildings adjacent to the streets (i.e. streetscape design) is an essential part of a community's character. The Township shall have regard for streetscape design, as well as transportation engineering considerations, in reviewing proposals for new roads and modifications to the existing street pattern, as well as the relationship between the street and abutting development.

#### **5.4.2.2 Existing Street System**

No significant changes are anticipated to the existing street system, particularly those streets designated as "local streets" on Schedule "F" to this Plan. However, where modifications such as widenings, additions of turning lanes and realignments are proposed, the Township shall carefully evaluate the impacts of such changes on the streetscape and shall seek to minimize modifications which detract from positive characteristics of the streetscape wherever possible. In addition, as part of such changes, the Township shall consider modifications which enhance the streetscape without detrimentally affecting road safety, such as additional tree planting, widening of boulevards, addition of sidewalks and creation of landscaped medians.

#### **5.4.2.3 Street System - New Development Areas**

New development areas shall be connected to the existing community whenever possible through road connections, as well as bicycle, golf cart, and pedestrian links, to ensure that the community functions in an integrated fashion. These linkages will be developed in a manner which is

sensitive to the character of existing areas, while promoting communication between all parts of the community.

#### **5.4.2.4 Streetscape Design**

The layout of streets, configuration of lots and the siting of buildings and parking areas shall ensure that:

- i) parking areas for non-residential uses are designed to reduce their impact on the adjoining streetscape by:
  - a) screening of the parking lot through the use of such features as low fences, walls or landscaping;
  - b) locating the parking lot on the site in a manner which reduces its impact on the street;
  - c) keeping to a minimum the amount of parking located between the main building and the street line;
  - d) a reduction in the scale of large parking areas through their subdivision into smaller areas by means of landscaping; and,
  - e) use of joint access where feasible.
- ii) buildings and structures are oriented to the street, and reverse lotting shall be prohibited, with window or service roads, flankage lots or other similar design approaches being used instead;
- iii) there are significant areas of unobstructed road frontage adjacent to parks and open space, and where possible, environmental areas to allow views into such sites, and where possible public access, subject to appropriate design to ensure no adverse environmental impacts;
- iv) in low density residential areas, garages shall be designed so that they are not the dominant feature in the streetscape, in particular, garages shall not:
  - a) project beyond the facade of the residence; or,
  - b) dominate the frontage of the lot

unless plans are submitted by the applicant to demonstrate to the satisfaction of the Township that the garages can be appropriately integrated with the streetscape;

- v) landscaping provides for features such as the definition of the street, framing of views and focal points, direction of pedestrian movement and demarcation of areas with different functions as appropriate; and,
- vi) lighting shall provide suitable illumination for vehicles, pedestrians and cyclists.

#### **5.4.2.5 Views**

- i) New development shall be designed, where possible, to preserve views of the surrounding rural area from the community existing at the date of adoption of the Plan. New development shall also be designed to preserve, enhance and/or create views of the following features:
  - a) natural features including woodlots and wetlands;
  - b) important institutional buildings; and,
  - c) parks and open space;
- ii) Institutional or other major buildings and structures or parks and open space shall be encouraged to locate:
  - a) at the termination of a street or view corridor; or
  - b) at the intersection of arterial or collector streets.

#### **5.4.2.6 Landscape Design**

The Township shall ensure that appropriate landscaping is provided in all new development to:

- i) maintain and enhance the character of existing developed areas;
- ii) allow for the creation of strong landscaped features in new development areas; and,
- iii) provide for features such as the definition of public open space, framing of views or focal points, direction of pedestrian movement and demarcation of areas with different functions.

In particular, the Township shall promote the planting of native plant material adjacent to existing natural areas and shall naturalize park areas where practical.

#### **5.4.2.7 Safe Community Design**

To promote safety and security in public places the following measures shall be followed:

- i) clear, unobstructed views to parks and open spaces shall be provided from adjoining streets;
- ii) appropriate lighting, visibility and opportunities for informal surveillance shall be provided for all walkways, parking lots, and parks and open space areas;
- iii) landscape elements shall be selected and sited in order to maintain views for safety and surveillance;
- iv) the sharing of such facilities as parking and walkways shall be encouraged to increase use and public presence in such areas;
- v) design which promotes a sense of community ownership for public spaces by maximizing use, control and surveillance opportunities by occupants of adjacent buildings and frequency of use by the public shall be encouraged;
- vi) design which precludes entrapment or the perception of entrapment through properly identified exits and signage shall be encouraged.

#### **5.4.2.8 Barrier Free Access/Universal Design Principles**

Barrier free access to public buildings and facilities, and along new and existing pedestrian routes, shall be promoted including ramps, automatic doors and curb cuts.

In addition, the principles of universal design will be applied to all public spaces and within new developments to ensure access and visitability for all individuals, while recognizing the need for balance where cultural heritage resources are involved. Regard shall also be given to the Ontarians with Disabilities Act, Ontario Building Code, any Township heritage guidelines, and where appropriate, the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada.

### **5.4.3 Gateways**

The major entrances to the Hamlet of Coppins Corners shall be designed to recognize their role as “gateways” to the community. These areas establish for visitors and residents an image of the Hamlet which should reflect its character as a hamlet area and differentiate it from the surrounding rural environment. In particular, the Township shall, in consultation with the Region of Durham, incorporate features such as landscaping and signage in the road allowance, without detrimentally affecting road safety, to clearly identify these gateway areas.

### **5.4.4 Northwest Quadrant**

Development of the northwest quadrant shall be carried out in accordance with a community design guidelines, as required by Section 5.7 of this Plan. The guidelines will ensure that development conforms with the policies of this Plan, particularly that it:

- i) is integrated with other areas of the hamlet;
- ii) reflects a character appropriate for its location in a hamlet/rural area;
- iii) is compatible with the adjacent major arterial roads and aggregate uses, without creating major barriers which isolate the development from the surrounding existing uses; and,
- iv) is linked with the adjacent natural heritage system.

## 5.5 LAND USE STRATEGY

### 5.5.1 Purpose

The land use designations on Schedule “F” establish the general land use pattern for existing and future development in the Secondary Plan Area during the planning period. The policies for these designations are set out in this section. Development shall also conform with all the other policies of this Plan.

### 5.5.2 Community Structure

The land use designations and transportation system reflect the basic existing structure of the Hamlet of Coppins Corners and the proposed development for the adjacent lands which is comprised of the following key elements:

i) Institutional/Commercial Structure

Commercial development in the Hamlet of Coppins Corners is consolidated along Brock Road in the vicinity of its intersection with Goodwood Road. This area will continue to be a focus for new institutional and commercial uses

ii) Natural Heritage System

The natural heritage system includes a number of natural features, open space, and park areas.

iii) Residential Neighbourhoods

Existing residential areas are very low density in nature, reflecting their current use of private services. These areas consist of the individual lots along the arterial roads and one subdivision. New residential development may proceed on private or public communal services and will be developed in depth and may include development with a range of lot sizes. Smaller lots will be located close to the centre of the hamlet and larger lots towards the edge.

iv) Transportation System

The Secondary Planning Area is served by a system of existing and proposed roads which connect the area together.

v) Golf Course

The lands outside the hamlet would include provision for the development of a golf course, a club house and driving range.

vi) Countryside Area

Other than the golf course, the lands outside the hamlet are anticipated to remain in rural uses.

### **5.5.3 Land Uses Permitted in All Designations**

#### **5.5.3.1 New Permitted Uses**

The following land uses shall be permitted in all land use designations in the Hamlet of Coppins Corner and Adjacent Lands Secondary Plan Area, except for the Major Forest Area and Forest Area designations which are subject to the policies of Sections 5.3.3 and 5.3.4 of this Plan. The land uses in Table 5.2 shall also be permitted in all land use designations, except for the Major Forest Area and Forest Area designations, subject to the specific conditions identified in Table 5.2:

- i) Fish, wildlife and forest management uses;
- ii) Conservation projects and flood and erosion control projects carried out or supervised by a public authority;
- iii) Agricultural uses;
- iv) Archaeological activities;
- v) Legally existing uses, buildings and structures as of November 15, 2001 and changes to such uses in conformity with the provisions of the Oak Ridges Moraine Conservation Plan;
- vi) Low-intensity recreational uses that have minimal impact on the natural environment and require very little terrain or vegetation modification and few, if any, buildings or structures, including but not limited to the following:
  - a) non-motorized trail uses;
  - b) natural heritage appreciation;
  - c) unserviced camping on public or institutional land; and,
  - d) accessory uses.

Small scale structures accessory to low intensity recreational uses, other than those permitted with respect to Regional File No. OPA 99-007(OMB File No. O000042), Township Files OPA-22(OMB File No. O000043) and ZBA 99-07 (OMB File No. Z000025) and any applications which implement these amendments including applications for site plan, plan of condominium and plan of subdivision, are permitted only where the applicant demonstrates that the adverse effects on the ecological integrity of the Oak Ridges Moraine Plan Area will be kept to the minimum by:

- a) keeping disturbed areas to the minimum; and,
  - b) avoiding the sensitive portions of the site.
- vii) Facilities for the federal, provincial or municipal government; and,
- viii) Wayside pits outside the boundary of the Hamlet of Coppins Corners subject to the provisions of Section 35 of the Oak Ridges Moraine Conservation Plan.

<b>Table 5.2 Land Uses Permitted in All Designations</b>	
<b>Land Use</b>	<b>Related Conditions</b>
i) Home Occupations/Home Businesses and Bed and Breakfast Establishments	Home occupation/home business uses and bed and breakfast establishments shall be permitted in residences in accordance with the regulations of the zoning by-law and the following policies: a) the home occupation/home business or bed and breakfast use is clearly secondary to the residential use of the property and is the principal residence of the person operating the use; b) a home occupation/home business use involves providing personal or professional services or producing custom or artisanal products, and does not include uses such as an auto repair or paint shop or furniture stripping; c) adequate parking can be provided; d) the use may be subject to site plan control if required by the Township; e) bed and breakfast establishments are located only in single detached dwellings; and, f) the use is subject to the provision of required private sewage disposal and water services.
ii) Accessory Uses	Accessory uses subject to the regulations of the zoning by-law.
iii) Transportation, infrastructure and utilities	Transportation, infrastructure and utilities uses, subject to the provisions of Section 41 of the Oak Ridges Moraine Conservation Plan and regulatory requirements such as the provisions of the Environmental Assessment Act.

**Table 5.2  
Land Uses Permitted in All Designations**

<b>Land Use</b>	<b>Related Conditions</b>
iv) One single detached dwelling on an existing lot of record	One single detached dwelling shall be permitted on a lot of record provided that: a) such a use would have been permitted by the zoning by-law on November 15, 2001; b) the applicant demonstrates, to the extent possible, that the use, erection and location will not adversely affect the integrity of the Oak Ridges Moraine Plan Area; c) the provision of required sewage disposal and water services; and, d) the regulations of the zoning by-law are complied with, with the exception of a lot in the Major Forest and Forest Area designations which shall be subject to the policies of the Plan for that designation.
v) Second Residential Units	A second residential unit shall be permitted in accordance with the provisions of Section 1.8.3 of the Official Plan.

**5.5.4 Residential Area**

**5.5.4.1 Purpose**

The Residential Area designation on Schedule “F” provides for the creation of a new residential area.

**5.5.4.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) single detached dwellings;
- ii) public parks and open space areas; and,
- iii) institutional uses.

**5.5.4.3 Land Use Policies**

**5.5.4.3.1 Community Design**

In new residential areas, applications for development shall be evaluated based on their conformity with the policies of the Plan, particularly Section 5.4, Community Design Strategy. In addition, the Natural Heritage System, including its parks and open space component, shall serve as a focal point for the residential development, and a structural element which defines the character of the area, including the provision of significant view corridors into lands which form part of the System, and, where possible, direct public access.

#### **5.5.4.3.2 Density**

The maximum number of residential units which shall be permitted is 125.

#### **5.5.4.3.3 Height**

The maximum height for residential development shall be two storeys.

#### **5.5.4.3.4 Housing Types**

Residential development shall be in keeping with the design guidelines which form part of the community design plan, but a range of lot sizes will be permitted.

### **5.5.5 Park and Open Space Area**

#### **5.5.5.1 Purpose**

The Park and Open Space Area designation recognizes public park areas in the Hamlet which provide active and passive recreation facilities to serve the residents of the Hamlet of Coppins Corners and Adjacent Lands and the Township.

#### **5.5.5.2 Permitted Uses, Buildings and Structures**

The permitted uses, and related buildings and structures are recreation and open space including related buildings and structures such as playground equipment, indoor and outdoor swimming pools, arenas, wading pools, tennis courts, baseball diamonds, soccer fields, and concession stands. Stormwater management facilities are also permitted.

#### **5.5.5.3 Land Use Policies**

A park shall be developed in the northwest quadrant of the Hamlet on an appropriate site. The final location and function of this park is not fixed and can be modified without amendment to this plan. The community design plan required by Section 5.7 will address this matter.

- i) The Township shall continue to maintain and enhance the recreation and open space facilities in the existing park in accordance with the standards established in Section 5.3. of this Plan, the Township's Cultural and Recreation Master Plan and any master plan developed for the park.

### **5.5.6 Major Forest Area**

The lands in the Major Forest Area designation on Schedule “F” shall be subject to the policies of 6.3.3 of this Plan.

### **5.5.7 Forest Area**

The lands in the Forest Area designation on Schedule “F” shall be subject to the policies of 6.3.4 of this Plan.

### **5.5.8 Hamlet Institutional/Commercial Area**

#### **5.5.8.1 Purpose**

The Hamlet Institutional/Commercial Area designation on Schedule “F” is designed to recognize existing commercial uses, and related uses, and to provide criteria to evaluate any proposals to redevelop such sites or to develop new institutional, commercial or other non-residential uses in the hamlet.

#### **5.5.8.2 Permitted Uses, Buildings and Structures**

The permitted uses, buildings and structures are:

- i) institutional;
- ii) office;
- iii) residential;
- iv) commercial including self storage units; and,
- v) existing light industrial.

#### **5.5.8.3 Land Use Policies**

##### **5.5.8.3.1 Applications for New Uses**

Applications for approval of new uses in the Hamlet Institutional/Commercial Area designation or an amendment to the Plan for a new Hamlet Institutional/Commercial Area designation, shall be evaluated based on their conformity with the policies of the Plan, particularly Section 5.4, Community Design Strategy, and the following criteria:

- i) the proposed uses, buildings and structures are of a size and scale

which can be appropriately integrated with the character of the adjacent area, particularly any low density residential areas;

- ii) the site and design of the development in relation to abutting properties ensures that there will be no significant adverse impacts with respect to noise, lights, loss of privacy and shadowing, and that appropriate buffering can be provided;
- iii) the proposed uses are:
  - a) primarily street oriented in design; and,
  - b) located with direct access to Brock Road (Regional Road 1), as approved by the Region of Durham, or a local road with direct access to Brock Road located as approved by the Region of Durham, in consultation with the Township; and,
  - c) located adjacent to existing commercial uses or community facilities or on lands designated “Hamlet Institutional/Commercial Area”;
- iv) maximum height three storeys; and,
- v) maximum floor space index of 0.5.

### **5.5.8.3.2 Modifications to Existing Hamlet Commercial Uses**

Where an existing commercial or light industrial use is proposed to be expanded, or closed and replaced with a new institutional, commercial or other use, the Township will work with the existing and/or new use to ensure that any changes to the site are designed to be in character with the surrounding uses and the requirements of Section 5.5.8.3.1.

## **5.5.9 Oak Ridges Moraine Countryside/Golf Course Area**

### **5.5.9.1 Purpose**

The Oak Ridges Moraine Countryside/Golf Course Area designation on Schedule “F” provides for the existing aggregate extraction operation, the development of a golf course upon the completion of the extraction operation or other rural uses.

### **5.5.9.2 Permitted Uses, Buildings and Structures**

Notwithstanding the provisions of the Oak Ridges Moraine Conservation Plan, the permitted uses, buildings and structures are limited to:

- i) the existing aggregate extraction use, and related buildings and structures;
- ii) a golf course including a club house, driving range and private, communal sewer and water services to serve the golf course and development in the northwest quadrant of the Hamlet of Coppins Corners;
- iii) two walking/bicycle/golf cart paths in accordance with the policies of Section 5; and,
- iv) agricultural uses.

### **5.5.9.3 Land Use Policies**

The lands in the Oak Ridges Moraine Countryside/Golf Course Area designation are subject to the policies of Section 10A.2.10h of the Durham Regional Official Plan and the following policies:

#### **i) Lot Creation**

A lot may be created only in the following circumstances:

- a) To allow land acquisition for transportation, infrastructure and utilities, but only if the need for the project has been demonstrated and there is no reasonable alternative;
- b) The addition of adjacent land to an existing lot, but only if the adjustment does not result in the creation of a lot that is undersized for the purpose for which it is being used or may be used.
- c) Facilitating conveyances to public bodies or non-profit entities for natural heritage conservation.

This section applies whether the transaction takes the form of a conveyance, a lease for twenty-one years or more or a mortgage.

#### **ii) Condition of Development**

A condition of any development will require the applicant to ensure that natural, self-sustaining vegetation is maintained or restored for the long term protection of any key natural heritage feature or hydrologically sensitive feature on any lot or lots being created through consent, or where site plan approval is required for a

development.

## 5.5.10 Oak Ridges Moraine Countryside Area

### **5.5.10.1 Purpose**

The Oak Ridges Moraine Countryside Area designation on Schedule “F” recognizes existing uses and is intended to encourage agricultural and other rural uses which maintain the rural character of the area and the Hamlet of Coppins Corners. Development which would expand the Hamlet of Coppins Corners will not be permitted.

### **5.5.10.2 Permitted Uses**

Notwithstanding the provisions of the Oak Ridges Moraine Conservation Plan, the permitted uses, buildings and structures are limited to:

- i) unserviced parks;
- ii) bed and breakfast establishments;
- iii) farm vacation homes;
- iv) low intensity recreational uses that have minimal impact on the natural environment, and require very little terrain or vegetation modification and few, if any, buildings or structures, including but not limited to:
  - a) non-motorized trail uses;
  - b) natural heritage appreciation; and,
  - c) unserviced camping on public or institutional land; and,
- v) accessory uses, provided that accessory uses to low intensity recreational uses shall be small-scale structures such as trails, boardwalks, foot bridges, fences, and picnic facilities and shall only be permitted where the applicant demonstrates that the adverse effects on the ecological integrity of the Moraine will be kept to the minimum but keeping disturbed areas to the minimum and avoiding sensitive portions of the site.

### **5.5.10.3 Land Use Policies**

The lands in the Oak Ridges Moraine Countryside Area shall be subject to the provisions of Sections 5.5.9.3 I) and ii) of this Plan.

## 5.5.11 Existing Hamlet Residential Area

### 5.5.11.1 Purpose

The Existing Hamlet Residential Area designation on Schedule “F” recognizes established residential areas of the hamlet. It ensures that new residential uses in these areas are generally compatible with the existing structure and character of these areas.

### 5.5.11.2 Permitted Uses, Buildings and Structures

The permitted uses, buildings and structures are:

- i) single detached dwellings; and,
- ii) public parks and open space areas

### 5.5.11.3 Land Use Policies

The creation of new lots within the Existing Hamlet Residential Area designation on Schedule “F” shall be limited and may proceed by plan of subdivision or consent. Applications for new residential development shall be evaluated based on an assessment of whether the proposal can generally maintain the following elements of the structure and character of the surrounding residential area:

- i) scale of development with respect to height, massing and density of adjacent buildings and structures;
- ii) nature of the streetscape as defined by such elements as landscaped areas, and the relationship between the public street, front yards and primary entrances to dwelling units;
- iii) relationship between the rear wall of buildings and rear yard open spaces; and,
- iv) siting of buildings in relation to abutting properties ensures that there will be no significant adverse impacts with respect to loss of privacy and shadowing, and that appropriate buffering can be provided.

## 5.6 TRANSPORTATION STRATEGY

### 5.6.1 Purpose

The purpose of the transportation and trails plans on Schedule “F” is to allow for the development of a transportation network which provides for the safe, economic and efficient movement of people and goods, while recognizing the necessity for the creation of streetscapes which are attractive and comfortable for pedestrian, as well as vehicular movement.

### 5.6.2 Road Network

#### 5.6.2.1 Road Classification

Roads shall conform with the designations on Schedule “F” and the requirements of Table 5.3 unless otherwise determined by the Township or the Region as applicable. In addition, it is recognized that all Arterial Roads shall be subject to the policies of the Durham Regional Official Plan.

#### 5.6.2.2 Road Planning

- i) The Township shall work co-operatively with the Region of Durham to integrate the planning of the road network in the Hamlet of Coppins Corners and adjacent lands with the regional road system. In that regard, access to the northwest quadrant of the hamlet will be limited to one access each onto Regional Road Nos. 1 and 21. In addition, one access to the proposed golf course to the west of the hamlet shall be permitted onto Regional Road No. 21.
- ii) The Township, as a condition of development or redevelopment, may require lands for the purposes of road widening to be dedicated to the appropriate authority having jurisdiction, in accordance with the requirements of Table 5.3. Additional lands in excess of the typical right-of-way widths may also be required to be conveyed for works related to, but not limited to, extensive cut/fill operations, intersection improvements, bridges, sight triangles, and drainage and buffering improvements.
- iii) Notwithstanding the standards set out in this Plan, the Township recognizes that the reconstruction of roads, under its jurisdiction, to

normal minimum standards in some existing developed areas may not be appropriate from a community design perspective, or economically or physically feasible due to existing building setbacks and/or mature trees within or adjacent to the road allowance. Any attempt to reconstruct such roads shall only be undertaken after a study to determine a right-of-way which will result in a streetscape which minimizes impacts on abutting properties and is appropriate to the character of the area, while serving anticipated traffic volumes. No amendment to this Plan shall be required to implement such a modification to the right-of-way and the Township shall work with the Region with respect to Regional Roads.

- iv) Generally no new roads shall be assumed or dedicated which do not meet the minimum standards established in Table 5.3. However, the Township may accept roads with reduced standards, particularly where parks, open space or institutional uses are located on one side of the road. Notwithstanding the foregoing, such reduced standards shall be accepted only when the Township is satisfied that such roads can serve anticipated traffic volumes and that they provide adequately for snow storage, on-street parking and other necessary facilities. In order to demonstrate the acceptability of such alternative road standards, the Township may carry out its own evaluation at the cost of the applicant.
- v) New roads, under the Township's jurisdiction, shall be designed to integrate "traffic calming" measures as appropriate. In addition, where traffic problems are identified in existing areas through studies carried out by the municipality, the Township shall consider the introduction of "traffic calming" measures where appropriate to assist in the resolution of such concerns, and the Township shall work with the Region with respect to Regional Roads..
- vi) The right-of-way widths and access spacing requirements of Table 5.3 shall apply to the arterial roads shown on Schedule "F". However, if the intent of the Plan is adhered to, and following adequate study to the effect that such provisions cannot be implemented precisely, the authority having jurisdiction on such roads may deviate from these provisions without the need for an amendment to this Plan. Notwithstanding the foregoing, the right-of-way requirements in Table 6.3 shall apply to Regional Roads, unless it can be demonstrated in consultation with the Region, that exceptions to the right-of-way widths are appropriate for specific sections of arterial roads. These exceptions will be incorporated into this Plan by amendment.

**Table 5.3  
Function of Road Facilities**

<b>Road Classification</b>	<b>Function</b>	<b>Design Requirements</b>
Type A Arterial Roads	Serve large volumes of traffic including truck traffic	- In accordance with the applicable Arterial Road Criteria of Table "E7" of the Durham Regional Official Plan.
Type B Arterial Roads	Serve moderate volumes traffic, including moderate volumes of truck traffic	In accordance with the applicable Arterial Road Criteria of Table "E7" of the Durham Regional Official Plan.
Collector Roads	-Serve local travel demands -Connects arterial and local roads	-Direct access from abutting properties permitted with some restrictions -Maximum two travel lanes Maximum right-of-way width 20 to 26 metres ( 66 to 85 feet)
Local Roads	-Serves local and neighbourhood travel demand -Connects individual properties to collectors and arterials	-No access control -Maximum two travel lanes -Right-of-way width 20 metres (66 feet) maximum, however, reduced standards may be established for individual development applications to a minimum right-of-way of 17 metres (55.7 feet)
Private Roads	-Serves local and neighbourhood travel demand -Connects individual properties to collectors and arterials	No access control -Maximum two travel lanes -Right-of-way width 20 metres (66 feet) maximum, however, reduced standards may be established for individual development applications to a minimum right-of-way of 15 metres
Lanes	Provides access to individual properties for parking and loading	Generally prohibited, but where permitted: -No access control -Right-of-way width 7.5 metres (24.6 feet) minimum

### 5.6.3 Pedestrian and Bicycle Circulation

#### 5.6.3.1 Sidewalk and Road System

- i) The primary system for pedestrian movement shall be the sidewalk

system. Provision shall be made for sidewalks on both sides of all arterial and collector roads, and on one side of all local roads, at a minimum, with the exception of cul-de-sacs and streets with a limited number of homes on them. The Township will evaluate the need for sidewalks on private roads.

- ii) Bicycle and golf cart movement shall generally be accommodated in the road right-of-way for local and private roads. Consideration shall be given to the inclusion of bicycle facilities in road right-of-ways for new arterial and collector roads, and the addition of facilities for bicycles on existing arterial and collector roads when such roads are reconstructed or where it is financially feasible to do so.

#### **5.6.3.2 Trail System**

A system of pedestrian/bicycle trails and, in the northwest quadrant for golf carts, shall be developed over time in accordance with the policies of this Plan.

### **5.6.4 Transit Service**

The Township shall work with the Region of Durham and Durham Region Transit in the development and implementation of transit services. In addition, higher density uses shall be encouraged to locate along arterial roads and other potential transit routes.

### **5.6.5 Parking**

The Township shall require, as a condition of development, that adequate off-street parking and loading facilities be provided. However, notwithstanding the foregoing, the Township shall encourage the retention and expansion of on-street parking in areas where it will not interfere with the efficient movement of traffic.

## **5.7 DEVELOPMENT REVIEW**

### **5.7.1 Purpose**

All development applications in the Secondary Plan Area shall be subject to review in accordance with the policies of this section, and the other applicable policies of this Plan and the Durham Regional Official Plan. In addition, the Township may require development to be subject to the site plan control provisions of the Planning Act.

### **5.7.2 General**

The policies of this section, together with the other policies of this Plan, establish the background information requirements and the criteria which must be satisfied for approval of applications for official plan amendments, and zoning by-law amendments, and final approval of plans of subdivision, variances and consents with the exception that:

- i) where the magnitude of an application for an official plan amendment warrants it, the Township may establish additional specific requirements;
- ii) where an application is for a technical or minor change, including applications for variances or consents, the Township may modify or eliminate a requirement or requirements; and,
- iii) where certain information is not applicable to the application, the Township may modify or eliminate a requirement or requirements.

In addition, where this Plan requires the submission of technical studies by the applicant in support of a development application, the Township may, and where directed by this Plan, shall, at its discretion and after consultation with the applicant, require that such studies be carried out by a consultant retained by the Township at the cost of the applicant. The applicant shall have input in the establishment of the terms of reference for such a study and a specific cost limit shall be established prior to the commencement of the study.

### **5.7.3 Information Requirements**

The following information and studies prepared at the applicant's expense, and carried out by a qualified professional as determined by the Township, and, at the Township's

discretion, unless required by this Plan, retained by the Township, shall generally be submitted as a basis for evaluation of development applications in the Secondary Plan area:

i) Background Information

A plan or survey of the subject site identifying all existing significant trees, other significant landscape features, existing buildings and structures and contours.

ii) Plans

Plans, including where applicable, site grading and landscaping plans, elevations, and other documentation:

- a) describing the proposed development and its relationship to the existing streetscape in particular building envelopes, accesses and parking areas;
- b) demonstrating how stormwater, erosion and sedimentation will be controlled on site and the location of the proposed sewage disposal facilities and well;
- c) describing proposed landscaping and any modifications to existing significant trees and landscaping; and,
- d) demonstrating how the development will be integrated with the Natural Heritage System established in Section 5.3 of this Plan.

iii) Natural Heritage System

Where the site includes or directly abuts lands designated on Schedule "G", as part of the Natural Heritage System, proposals shall be evaluated in accordance with the information submission requirements of Section 6.3 of the Plan.

iv) Tree Analysis

Where new development is to occur on a piece of land which the Township identifies as having trees which may warrant preservation or replacement, a tree preservation and planting plan shall be developed either at the time of application or as a condition of approval at the direction of the Township.

Such a plan shall:

- a) address the nature and condition of the tree resources potentially affected by the development;
- b) provide recommendations for tree retention and removal based on the

quality of the trees, species tolerance, proposed development impacts and opportunities for mitigation, as well as a program for replanting and vegetation enhancements for new development which impacts on tree stands; and,

- c) address the impact of the development on any abutting lands in Major Forest Area and Forest Area designations, and the woodlot management and edge/interior protection measures required to protect such areas during and after the initiation of construction.

Based on this analysis, controls will be placed on the trees to be removed, the amount and type of new landscaping to be provided on the site and related management and construction procedures through the Subdivision, Condominium or Site Plan Control Agreements.

- v) Noise Impact Study

A noise impact study shall be carried out where residential uses or other sensitive uses, as defined by Ministry of the Environment guidelines, are proposed and the site is adjacent to a major noise source such as an arterial road.

Further, the requirements of the Ministry of the Environment guidelines, "Noise Assessment Criteria in Land Use Planning, October, 1995" or any successor thereto, with respect to the need for noise impact studies shall apply to new commercial, industrial or institutional development which is a potential major noise source, such as, but not limited to, uses which have associated with them on-going construction activity, outdoor heat rejection systems (including cooling towers) and outdoor exhaust fans, or other stationary noise sources such as railways yards, major truck stops, major hydro transformers, or natural gas compressors. Where required by the guidelines, a noise impact study shall be carried out to the satisfaction of the Township and the Region.

- vi) Vibration Study

A vibration study shall be required at the request of the Region, or the Township or other government agency where the site is within 75 metres (246 feet) of any arterial road. Such a study shall be carried out to the satisfaction of the Township, in consultation with the appropriate government agency-

Further, where new industrial development, which is a potential major source of vibration, such as metal forming industries including punch presses or drop forges, is proposed within 75 metres (246 feet) of existing residential development, a vibration study shall be carried out to the satisfaction of the Township.

vii) Heritage Impact Statement

Where the site includes a building of architectural and/or historical merit designated under the Heritage Act or is located in a designated Heritage District, a heritage impact statement, prepared by recognized professional(s) in the field, shall be required to be submitted to the Township. Such a study shall demonstrate to the satisfaction of the Township that:

- a) the proposal will not adversely impact the heritage significance of the property or the area in which it is located; or,
- b) demonstrate that it is not physically feasible to maintain the heritage building or structure.

viii) Archaeological Resource Assessment

Where there may be archaeological remains of prehistoric and historic habitation, or areas containing archaeological potential within a site, an archaeological assessment conducted by archaeologists licensed under the Ontario Heritage Act shall be required. In addition, the provisions of the Cemeteries Act and its regulations shall be applied when marked and unmarked cemeteries or burial places are encountered during development, assessment or any activity.

ix) Land Use Compatibility

Where applicable, information or necessary studies shall be provided to assist in the establishment of a separation distance, having regard for the Ministry of the Environment guidelines “Compatibility Between Industrial Facilities and Sensitive Uses”, between proposed development and potentially incompatible uses.

x) Stormwater Management

The Township shall require a stormwater management plan and associated landscaping plan in accordance with the provisions of Section 6.2.2 of this Plan.

xi) Soil Quality

The applicant must demonstrate that on-site soil quality is suitable for the proposed use. Where site remediation is required the Township, in consultation with the Region, shall be satisfied with respect to the implementation of remediation prior to development approval. Specifically, where the Township, the Region, other public body, or the applicant has identified potential site contamination the Township shall require the applicant to complete a Phase I assessment, in accordance with the Ministry of the Environment’s Guidelines for Use at Contaminated Sites in Ontario. The Phase

I assessment will be reviewed by the Township, in consultation with the Region, to ensure there is no contamination prior to the granting of any development approvals. If there is evidence of contamination, the applicant will be required to submit a Phase 2 assessment in accordance with the Ministry of the Environment's Guidelines. If the site is found to be contaminated, the Township shall require the applicant to submit a Ministry of the Environment acknowledged Record of Site Condition to the Township to verify site clean-up prior to the granting of a building permit.

xii) Traffic Impact Analysis

Where the Township, in consultation with the Region, has identified concerns with traffic impacts, a traffic impact analysis carried out by a qualified transportation engineer shall be required. Such a study shall be carried out to the satisfaction of the Township, and where applicable the Region.

xiii) Air Quality

Where the Township identifies concerns with impacts on air quality, appropriate studies by qualified professional shall be required.

xiv) Hydrogeological and other Engineering Studies

The submission of hydrogeological and other required engineering studies, including provision for a monitoring program, shall be required to demonstrate the feasibility of servicing the proposed development with private sewage disposal and water services or private or public communal services.

xv) Northwest Quadrant Community Design Plan

Any application for a plan of subdivision or a plan of condominium in the northwest quadrant shall require submission of community and design guidelines. The guidelines will be prepared by a consultant based on terms of reference agreed upon by the Township and the applicant.

#### **5.7.4 Development Evaluation Criteria**

Development proposals shall generally conform with the following criteria, in addition to any of the applicable policies of this Plan:

i) Design

The appropriateness of the design of any proposal in the Hamlet shall be evaluated in accordance with the policies of Section 5.4. In particular, where new development is proposed abutting existing residential development it shall be designed to be compatible with that existing development with respect to

scale and massing. Adequate buffering will also be provided.

ii) Heritage Preservation

Buildings of architectural and/or historic significance, particularly buildings identified as part of the Township's Heritage Inventory, where feasible, are preserved on site and/or integrated into the development in an appropriate manner and/or preserved in some other manner. Standard archaeological potential criteria in accordance with Ministry of Citizenship, Culture and Recreation guidelines will be used to evaluate future development areas and expansion proposals for impacts on significant resources.

iii) Natural Heritage System

No development shall be permitted in the areas designated Major Forest Area or the Environmental Buffer Area associated with it. Development shall only be permitted in areas designated Forest Area on Schedule "F" as part of the Natural Heritage System in accordance with the policies of Section 5.3 of this Plan. In addition, all development shall be evaluated with respect to its conformity with the provisions of Section 5.3 of the Plan.

iv) Watercourses

All watercourses shall be, where feasible, maintained or enhanced as distinct ecosystems, and lands immediately adjacent to these watercourses shall be retained or rehabilitated to a natural self-sustaining state. Alterations to watercourses, including riparian features such as intermittent streams and drainage swales, shall generally be discouraged. However, the necessity for retention /restoration of riparian features such as intermittent streams and drainage swales, will be evaluated on a site by site basis and some modifications of these features may be approved where deemed appropriate by the Township, in consultation with the Conservation Authority.

v) Sewer and Water Services and Stormwater Management

Development shall be serviced in accordance with the provisions of Section 5.2 of this Plan and Section 5.4.5 of the Durham Regional Official Plan, and provided that the Township, in consultation with the Region of Durham, is satisfied that the development can be serviced appropriately with the proposed private services, and that the quantity and quality of surface and ground water will be maintained.

vi) Soil Quality

The applicant must demonstrate that on-site soil quality is suitable for the proposed use in accordance with the provisions of Section 5.7.4.2 xi). Where

site remediation is required the Township, in consultation with the Region, shall be satisfied with respect to the implementation of remediation prior to development approval.

vii) Noise and Vibration Impact and Safety Measures

Where the site is adjacent to a major noise source such as a Regional or arterial road, or industrial use, the Township, in consultation with the Region, shall be satisfied that appropriate measures to mitigate any adverse effects of noise and vibration can be implemented.

viii) Traffic

The applicant must demonstrate to the satisfaction of the Township, and where applicable, the Region, that the existing road system can safely and efficiently accommodate the additional traffic generated by development or can be modified to do so at the cost of the applicant.

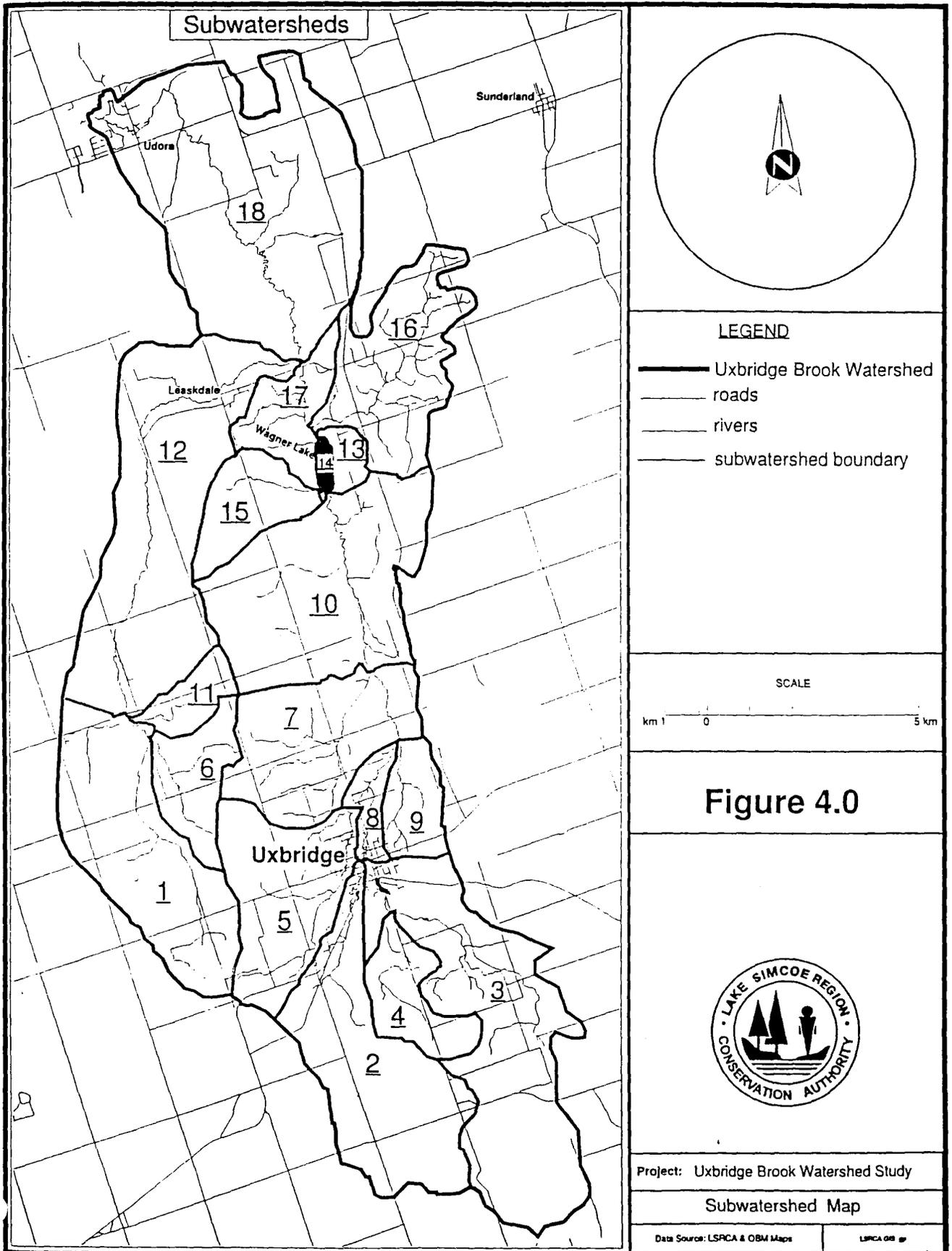
ix) Air Quality

Where the Township identifies potential concerns with air quality, the applicant must demonstrate that any impacts on air quality can be appropriately mitigated at the cost of the applicant.

### **5.7.5 Definitions**

For the purpose of this Plan, the terms *development* and *site alteration* have the same meaning as defined in the Oak Ridges Moraine Conservation Plan (Ontario Regulation 140/02).

# **APPENDIX A - SUBWATERSHED AREAS**



Note: The Uxbridge Brook Watershed Plan was completed in 1997. It is recognized that some recommendations related to pesticide use have been superseded by the Province's cosmetic pesticide ban which came into effect on April 22, 2009.

## **APPENDIX B - RESOURCE TARGETS**

issues and concerns specific to these subwatersheds. Specific resource targets for subwatersheds were established by the Steering and the Public Advisory Committees. These targets were then used to evaluate specific recommendations for each subwatershed and are listed in Table 7.0.

**Table 7.0 Resource Targets for Management Issues**

Management Issues	Resource Target
Water Quality	To protect ground and surface waters which currently meet the Ministry of Environment and Energy Provincial Water Quality Objectives (PWQOs) and Ontario Drinking Water Objectives (ODWOs). To enhance ground and surface waters which do not meet objectives to at least meet these objectives recognizing that in certain areas exceptional water may require more stringent criteria. Furthermore, in some situations natural conditions may make attaining this goal undesirable.
Water Quantity	To protect and maintain the existing flow regime both in terms of peak flows and flow volume and enhance these functions where they have been degraded wherever possible.
Aquatic Habitat	To maintain and where possible improve aquatic habitat of Uxbridge Brook to ensure the continued and improved health of the aquatic ecosystem.
Terrestrial Habitat	Protect and enhance existing terrestrial habitat within the watershed including forests, wetlands, meadows, wildlife corridors and feeding grounds. Rehabilitate degraded habitat wherever possible.
Recreational and Aesthetic Amenities	Provide environmentally sound recreational opportunities.

The following tables outline the recommended BMPs and agencies or groups responsible for implementation for each of the eighteen (18) subwatersheds.



**Table 7.2 Subwatershed 2 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
1) All new development shall meet Level 1 quality control criteria with state of the art phosphorus removal systems.	Regulation	ongoing	LSRCA MOEE
2) Trace and correct problems associated with inadequate or faulty septic systems for residences.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Encourage homeowners to reduce their use of commercial lawn chemicals.	Education	ongoing	Homeowners LSRCA
4) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
5) Construct soil erosion structures such as grass waterways, terraces and windbreaks.	Remedial project	5 years	Landowners OMAFRA LSRCA
6) Promote conservation tillage practices and the retirement of fragile lands.	Education	ongoing	OMAFRA LSRCA
7) Ensure farmers are well-educated regarding pesticide and herbicide application.	Education	ongoing	OMAFRA MOEE
8) Establish vegetated buffer zones along exposed watercourses (2.0 km).	Remedial project	5 years	Landowners LSRCA
9) Adopt Oak Ridges Moraine Policies relating to recharge/discharge areas.	Policy	5 years	Durham Uxbridge
10) All new developments are to provide 24 hour detention for runoff from a 40 mm storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
11) All new developments are to provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.	Policy	ongoing	LSRCA MOEE Uxbridge



**Table 7.2 Continued**

RECOMMENDATIONS	BMP CATEGORY	COMP. TARGET	RESPONSIBILITY
12) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA
13) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
14) Restore bottom draw in Electric Light Pond	Remedial project	1 year	Uxbridge LSRCA
15) Restore confined channels using natural channel design.	Remedial project	5 years	Landowners LSRCA MNR
16) Install sediment traps and restore degraded habitat.	Remedial project	5 years	Landowners LSRCA MNR
17) Promote the planting of native material close to natural areas.	Education	ongoing	Uxbridge LSRCA
18) Establish a trail system.	Remedial project	10 years	Landowners Uxbridge
19) Prohibit the use of recreational vehicles on sensitive public land.	Legislation	5 years	Uxbridge
20) Naturalize park areas where practical; review current pesticide and fertilizer application practices.	Policy	10 years	Uxbridge
21) Disconnect roof leaders from storm sewer	Remedial project	5 years	Uxbridge LSRCA
22) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Uxbridge



**Table 7.3 Subwatershed 3 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
1) All new development shall meet Level 1 quality control criteria with state of the art phosphorus removal systems.	Policy	ongoing	LSRCA MOEE
2) Trace and correct problems associated with inadequate or faulty septic systems for residences.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Encourage homeowners to reduce their use of commercial lawn chemicals.	Education	ongoing	Homeowners LSRCA
4) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
5) Construct soil erosion structures such as grass waterways, terraces and windbreaks.	Remedial project	5 years	Landowners OMAFRA LSRCA
6) Promote conservation tillage practices and the retirement of fragile lands.	Education	ongoing	OMAFRA LSRCA
7) Ensure farmers are well-educated regarding pesticide and herbicide application.	Education	ongoing	OMAFRA MOEE
8) Establish vegetated buffer zones along exposed watercourses (4.2 km).	Remedial project	5 years	Landowners LSRCA
9) Adopt Oak Ridges Moraine Policies relating to recharge/discharge areas.	Policy	5 years	Durham Uxbridge
10) All new developments are to provide 24 hour detention for runoff from a 40 mm storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
11) All new developments are to provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
12) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA



**Table 7.3 Continued**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
13) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
14) Restore bottom draw in Elgin Mills Pond.	Remedial project	1 year	Uxbridge LSRCA
15) Restore confined channels using natural channel design.	Remedial project	5 years	Landowners LSRCA MNR
16) Install sediment traps and restore degraded habitat.	Remedial project	5 years	Landowners LSRCA MNR
17) Promote the planting of native material close to natural areas.	Education	ongoing	Uxbridge LSRCA
18) Establish wildlife corridors between key natural areas.	Remedial project	10 years	Landowners LSRCA Uxbridge
19) Establish a trail system.	Remedial project	10 years	Landowners Uxbridge
20) Prohibit the use of recreational vehicles on sensitive public land.	Legislation	5 years	Uxbridge
21) Naturalize park areas where practical; review current pesticide and fertilizer application practices.	Policy	10 years	Uxbridge
22) Disconnect roof leaders from storm sewer	Remedial project	5 years	Uxbridge LSRCA
23) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Uxbridge



**Table 7.4 Subwatershed 4 Recommendations**

RECOMMENDATIONS	BMP CATEGORY	COMP. TARGET	RESPONSIBILITY
1) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
2) Establish vegetated buffer zones along exposed watercourses (1.2 km).	Remedial project	5 years	Landowners LSRCA
3) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA
4) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
5) Prohibit the use of recreational vehicles on sensitive public land.	Legislation	5 years	Uxbridge
6) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Wagner Lake Ratepayers Uxbridge



**Table 7.5 Subwatershed 5 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP TARGET</b>	<b>RESPONSIBILITY</b>
1) All new development shall meet Level 1 quality control criteria with state of the art phosphorus removal systems.	Policy	ongoing	LSRCA MOEE
2) Trace and correct problems associated with inadequate or faulty septic systems for residences in NW end of town.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Encourage homeowners to reduce their use of commercial lawn chemicals.	Education	ongoing	Homeowners LSRCA
4) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
5) Construct soil erosion structures such as grass waterways, terraces and windbreaks.	Remedial project	5 years	Landowners OMAFRA LSRCA
6) Promote conservation tillage practices and the retirement of fragile lands.	Education	ongoing	OMAFRA LSRCA
7) Restrict livestock access to watercourse (1 site)	Remedial project	5 years	Landowner LSRCA
8) Construct manure storage, clean water diversions and establish buffer strips (1 site).	Remedial project	5 years	Landowner LSRCA
9) Promote proper manure management, soil and manure testing, and discontinue winter manure spreading.	Education	ongoing	Landowners OMAFRA LSRCA
10) Ensure farmers are well-educated regarding pesticide and herbicide application.	Education	ongoing	OMAFRA MOEE
11) Ensure sludge spreading follows Provincial Guidelines and owners have certificate; discontinue winter spreading.	Legislation	5 years	OMAFRA MOEE
12) Establish vegetated buffer zones along exposed watercourses (4.0 km).	Remedial project	5 years	Landowners LSRCA
13) Adopt Oak Ridges Moraine Policies relating to recharge/discharge areas.	Policy	5 years	Durham Uxbridge
14) All new developments are to provide 24 hour detention for runoff from a 40 mm storm event.	Policy	ongoing	LSRCA MOEE Uxbridge



Table 7.5 Continued			
RECOMMENDATIONS	BMP CATEGORY	COMP TARGET	RESPONSIBILITY
15) All new developments are to provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
16) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA
17) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
18) Restore confined channels using natural channel design.	Remedial project	5 years	Landowners LSRCA MNR
19) Install sediment traps and restore degraded habitat.	Remedial project	5 years	Landowners LSRCA MNR
20) Promote the planting of native material close to natural areas.	Education	ongoing	Uxbridge LSRCA
21) Establish wildlife corridors between key natural areas.	Remedial project	10 years	Landowners LSRCA Uxbridge
22) Increase forested area to 25% of total by promoting planting assistance programs (175 ha).	Remedial project	20 years	Landowner LSRCA Uxbridge
23) Promote the protection and rehabilitation of wetlands.	Policy	ongoing	Durham Uxbridge LSRCA MNR
24) Establish a trail system.	Remedial project	10 years	Landowners Uxbridge
25) Prohibit the use of recreational vehicles on sensitive public land.	Legislation	5 years	Uxbridge
26) Naturalize park areas where practical; review current pesticide and fertilizer application practices.	Policy	10 years	Uxbridge
27) Disconnect roof leaders from storm sewer	Remedial project	5 years	Uxbridge LSRCA
28) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Uxbridge



**Table 7.7 Subwatershed 7 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
1) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
2) Trace and correct problems associated with inadequate or faulty septic systems for residences.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Restrict livestock access to watercourse. (1 site)	Remedial project	5 years	Landowner LSRCA
4) Construct soil erosion structures such as grass waterways, terraces and windbreaks	Remedial project	5 years	Landowners OMAFRA LSRCA
5) Promote conservation tillage practices and the retirement of fragile lands.	Education	ongoing	OMAFRA LSRCA
6) Promote proper manure management, and soil and manure testing.	Education	ongoing	Landowners OMAFRA LSRCA
7) Ensure farmers are well-educated regarding pesticide and herbicide application.	Education	ongoing	OMAFRA MOEE
8) Ensure sludge spreading follows Provincial Guidelines and owners have certificate; discontinue winter spreading.	Legislation	5 years	OMAFRA MOEE
9) Establish vegetated buffer zones along exposed watercourses (3.5km).	Remedial project	5 years	Landowners LSRCA
10) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA
11) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
12) Establish wildlife corridors between key natural areas.	Remedial project	10 years	Landowners LSRCA Uxbridge
13) Increase forested area to 25% of total by promoting planting assistance programs (14 ha).	Remedial project	20 years	Landowners LSRCA Uxbridge



**Table 7.8 Subwatershed 8 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
1) All new development shall meet Level 1 quality control criteria with state of the art phosphorus removal systems.	Policy	ongoing	LSRCA MOEE
2) Trace and correct problems associated with inadequate or faulty septic systems.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Encourage homeowners to reduce their use of commercial lawn chemicals.	Education	ongoing	Homeowners LSRCA
4) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
5) Establish vegetated buffer zones along exposed watercourses (1.0 km).	Remedial project	5 years	Landowners LSRCA
6) Adopt Oak Ridges Moraine Policies relating to recharge/discharge areas.	Policy	5 years	Durham Uxbridge
7) All new developments are to provide 24 hour detention for runoff from a 40 mm storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
8) All new developments are to provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
9) Restore confined channels using natural channel design.	Remedial project	5 years	Landowners LSRCA MNR
10) Install sediment traps and restore degraded habitat.	Remedial project	5 years	Landowners LSRCA MNR
11) Promote the planting of native material close to natural areas.	Education	ongoing	Uxbridge LSRCA
12) Establish a trail system.	Remedial project	10 years	Landowners Uxbridge
13) Prohibit the use of recreational vehicles on sensitive public land.	Legislation	5 years	Uxbridge
14) Naturalize park areas where practical; review current pesticide & fertilizer application practices.	Policy	10 years	Uxbridge
15) Disconnect roof leaders from storm sewer	Remedial project	5 years	Uxbridge LSRCA
16) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Uxbridge



**Table 7.9 Subwatershed 9 Recommendations**

<b>RECOMMENDATIONS</b>	<b>BMP CATEGORY</b>	<b>COMP. TARGET</b>	<b>RESPONSIBILITY</b>
1) All new development shall meet Level 1 quality control criteria with state of the art phosphorus removal systems.	Policy	ongoing	LSRCA MOEE
2) Trace and correct problems associated with inadequate or faulty septic systems.	Remedial project	ongoing	Homeowners Durham Health Unit
3) Encourage homeowners to reduce their use of commercial lawn chemicals.	Education	ongoing	Homeowners LSRCA
4) Road salt, sand and dust suppressant should be applied sparingly; dust suppressant should be environmentally friendly.	Policy	ongoing	Uxbridge Durham
5) Construct soil erosion structures such as grass waterways, terraces and windbreaks	Remedial project	5 years	Landowners OMAFRA LSRCA
6) Promote conservation tillage practices and the retirement of fragile lands.	Education	ongoing	OMAFRA LSRCA
7) Promote proper manure management, soil and manure testing, and discontinue winter manure spreading.	Education	ongoing	Landowners OMAFRA LSRCA
8) Ensure farmers are well-educated regarding pesticide and herbicide application.	Education	ongoing	OMAFRA MOEE
9) Ensure sludge spreading follows Provincial Guidelines and owners have certificate; discontinue winter spreading.	Legislation	5 years	OMAFRA MOEE
10) Establish vegetated buffer zones along exposed watercourses (1.8 km).	Remedial project	5 years	Landowners LSRCA
11) Adopt Oak Ridges Moraine Policies relating to recharge/discharge areas.	Policy	5 years	Durham Uxbridge
12) All new developments are to provide 24 hour detention for runoff from a 40 mm storm event.	Policy	ongoing	LSRCA MOEE Uxbridge
13) All new developments are to provide full peak control for site runoff (post to pre) for up to and including the 1:100 year storm event.	Policy	ongoing	LSRCA MOEE Uxbridge



Table 7.9 Continued

RECOMMENDATIONS	BMP CATEGORY	COMP. TARGET	RESPONSIBILITY
14) Remove beaver and man-made dams where possible; alternately construct fish ladders or alternate channels to facilitate fish migration.	Remedial project	10 years	Landowners Uxbridge LSRCA
15) Remove on-line ponds; alternately install bottom draw mechanisms to reduce temperature.	Remedial project	10 years	Landowner LSRCA
16) Restore confined channels using natural channel design.	Remedial project	5 years	Landowners LSRCA MNR
17) Install sediment traps and restore degraded habitat.	Remedial project	5 years	Landowners LSRCA MNR
18) Promote the planting of native material close to natural areas.	Education	ongoing	Uxbridge LSRCA
19) Establish wildlife corridors between key natural areas.	Remedial project	10 years	Landowners LSRCA Uxbridge
20) Increase forested area to 25% of total by promoting planting assistance programs (41 ha).	Remedial project	20 years	Landowner LSRCA Uxbridge
21) Establish a trail system.	Remedial project	10 years	Landowners Uxbridge
22) Naturalize park areas where practical; review current pesticide and fertilizer application practices.	Policy	10 years	Uxbridge
23) Disconnect roof leaders from storm sewer	Remedial project	5 years	Uxbridge LSRCA
24) Establish a yearly clean-up for garbage removal and enforce illegal dumping laws.	Remedial project	ongoing	Uxbridge

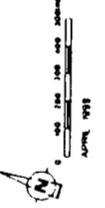


# **APPENDIX C - MAJOR VACANT DEVELOPMENT SITES**

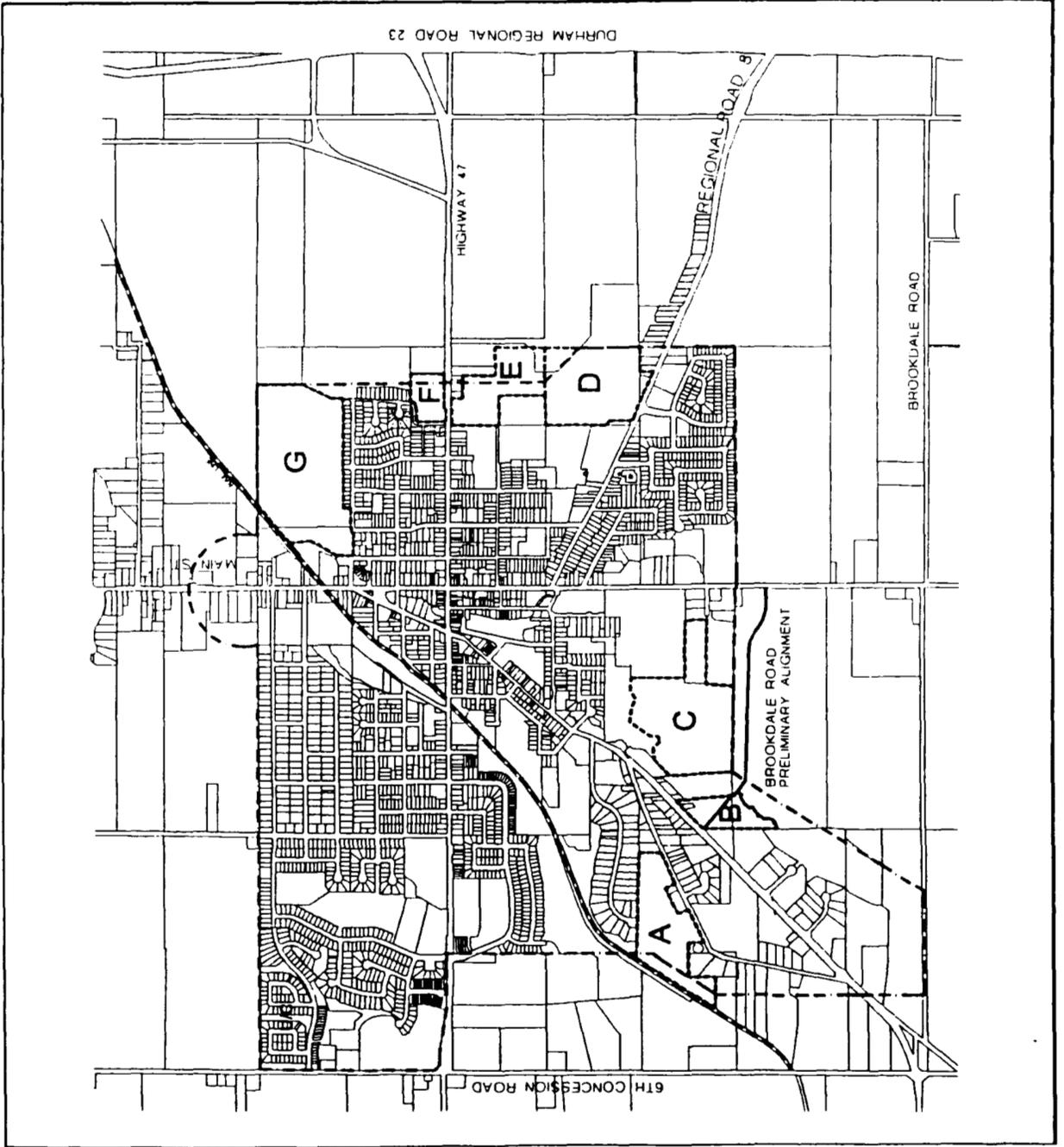
# LEGEND

-  EXISTING URBAN AREA
-  POTENTIAL VACANT DEVELOPMENT SITES

## UXBRIDGE EXISTING URBAN AREA MAJOR VACANT DEVELOPMENT SITES



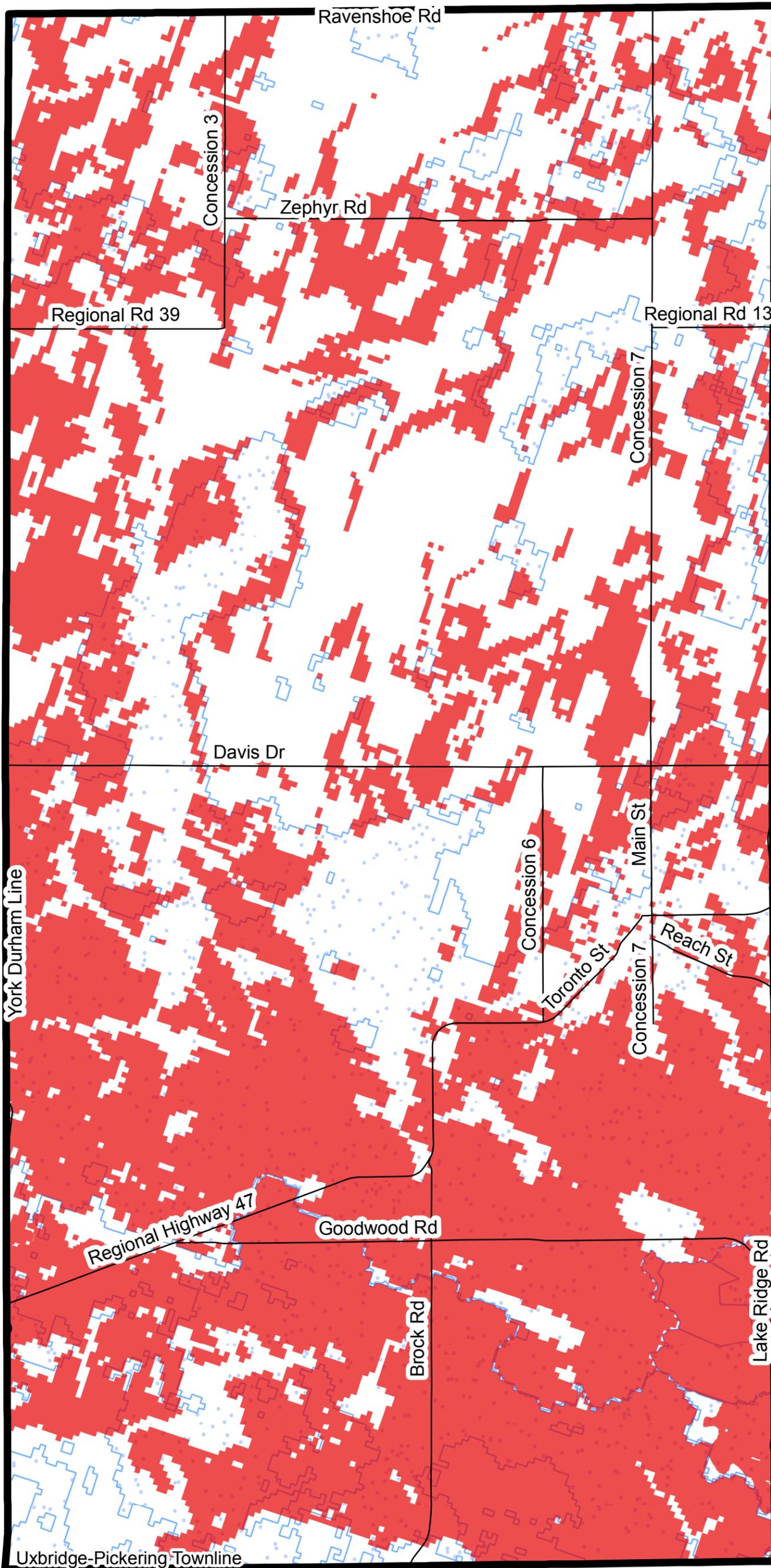
### APPENDIX C



# **APPENDIX D – SIGNIFICANT GROUNDWATER RECHARGE AREA**

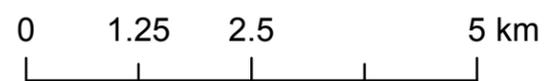
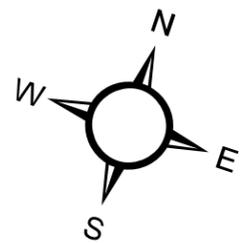
# Appendix D

## SIGNIFICANT GROUNDWATER RECHARGE AREA



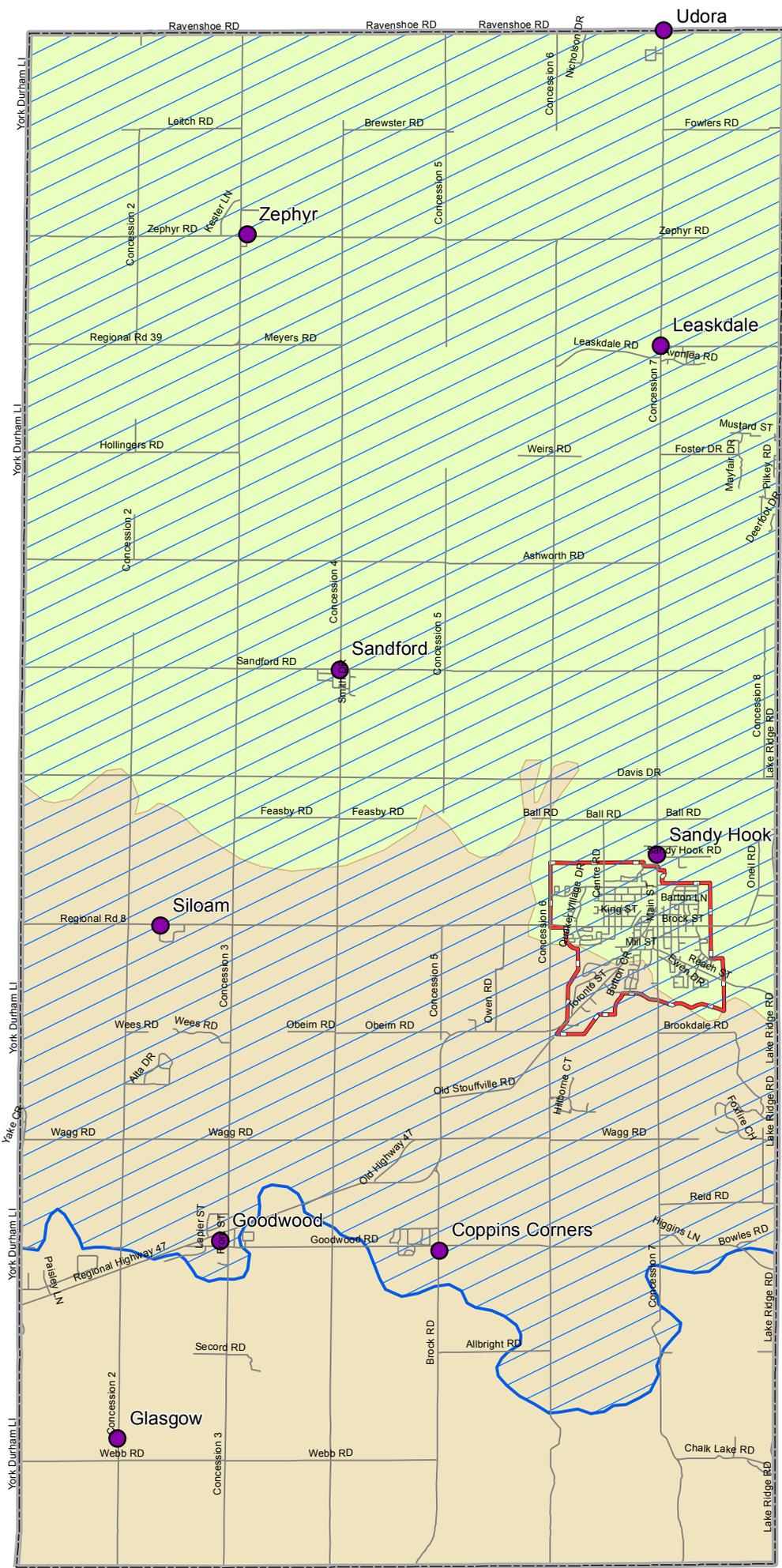
### LEGEND

-  Township of Uxbridge
-  Significant Groundwater Recharge Area
-  High Aquifer Vulnerability Areas



Source: Region of Durham

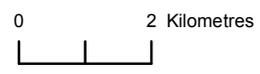
# Map 1 Township of Uxbridge Community Structure & Provincial Plan Areas



**Legend**

-  Hamlets
-  Township of Uxbridge Boundary
-  Uxbridge Urban Area Boundary
-  Oak Ridges Moraine Conservation Plan Area
-  Greenbelt Plan Area
-  Lake Simcoe Protection Act Watershed Boundary

Note: This map is provided for information purposes only and does not form part of the Official Plan

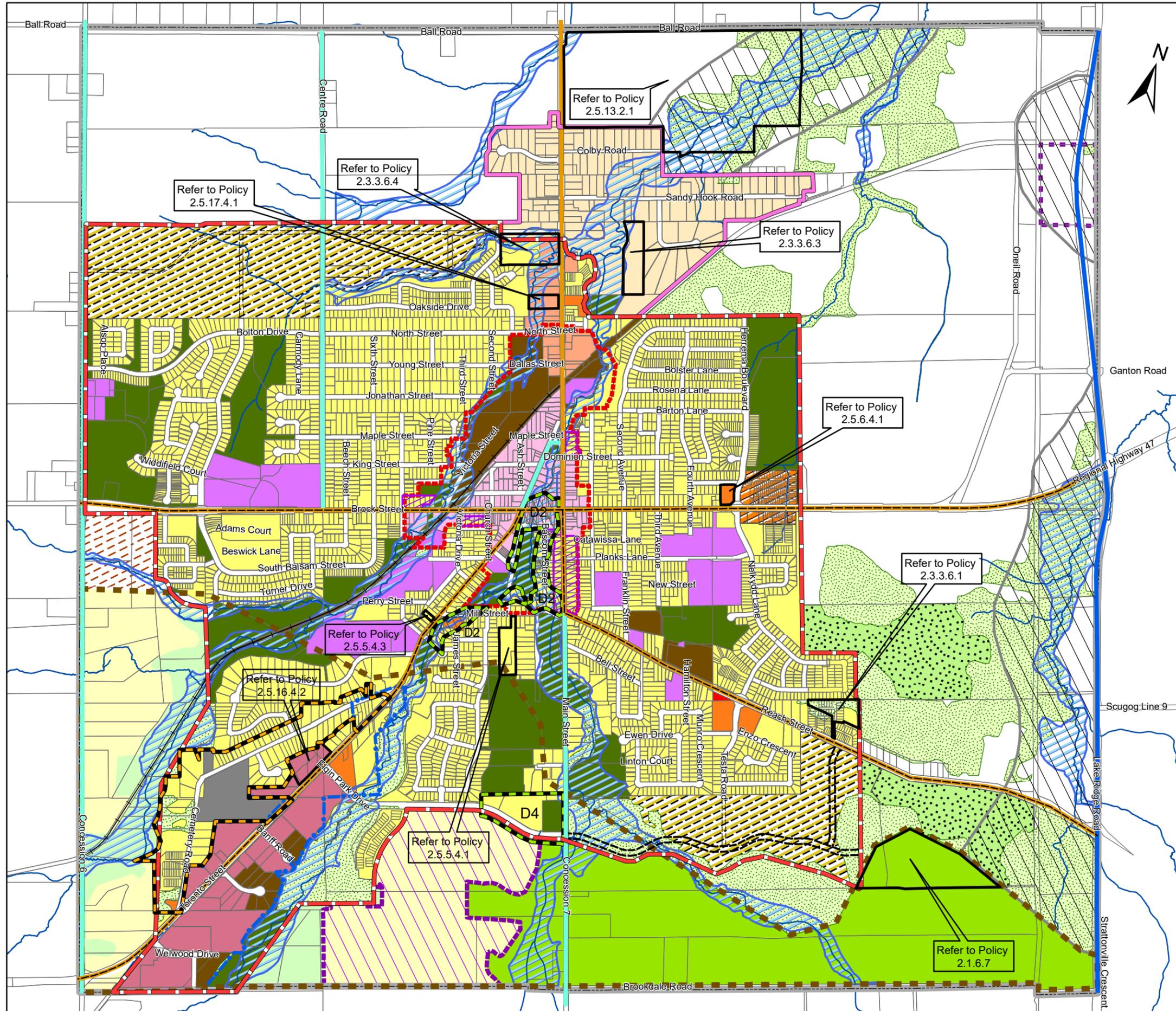


# Schedule "A"

## Land Use and Transportation Plan

### Uxbridge Urban Area

#### Official Plan of the Township of Uxbridge



#### Transportation

- Type A Arterial
- Type B Arterial
- Collector Road
- Regional Transit Spine
- Potential Future Collector Road
- Proposed Local Road

#### Natural Heritage

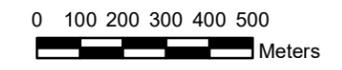
- Natural Hazard Area
- Environmental Constraint Area
- ~ Watercourses & Waterbodies

#### Oak Ridges Moraine

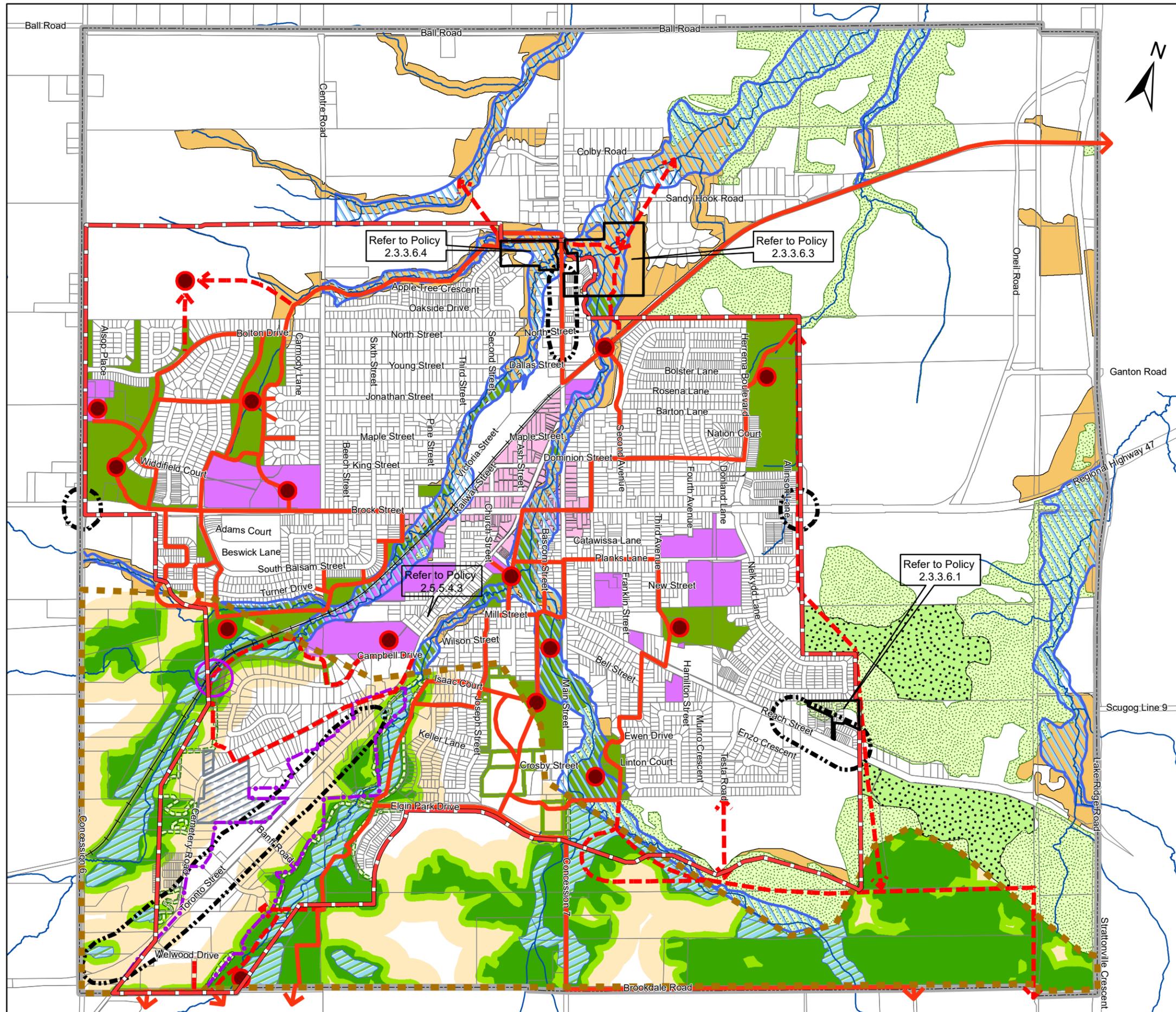
- Oak Ridges Moraine Conservation Plan Area Boundary
- Countryside Area
- Natural Linkage Area
- Natural Core Area

#### General Land Use

- Secondary Plan Area
- Urban Area Boundary
- Downtown
- Main Central Area
- Mixed Use Area
- Brock Street Mixed Use Area
- Corridor Commercial Area
- Local Commercial Area
- Residential Area
- Residential Area Higher Density
- Evolving Neighbourhood Area
- Institutional Area
- Employment Area
- Park and Open Space Area
- Major Open Space Areas
- Private Open Space Area
- Cemetery Area
- Hamlet Boundary
- Hamlet Area
- Rural Estate Area
- Prime Agricultural Areas
- Waste Disposal Area
- Special Policy Area D2
- Policy Area 2.1.6.7 Approved Major Recreation Use
- Mixed Use Special Policy Area
- Lands Subject to 18(6) of the Moraine Plan
- D2 Deferral
- Cemetery Road Policy Area



**Schedule "B"**  
**Natural Heritage System**  
**and Supportive Uses**  
**Uxbridge Urban Area**  
 Official Plan of the Township of Uxbridge



**Supporting Uses**

-  Secondary Plan Area
-  Main Central Area
-  Private Open Space Area
-  Cemetery Area
-  Institutional Area
-  Park and Open Space Area
-  Gateway Area
-  Land Subject to Section 18(6) of the Moraine Plan

**Natural Heritage**

-  Natural Hazard Area
-  Environmental Constraint Area
-  Environmental Potential Area
-  Watercourses & Waterbodies

**Oak Ridges Moraine**

-  Oak Ridges Moraine Conservation Plan Area Boundary
-  Wetlands
-  Significant Woodlands
-  Minimum Vegetation Protection Zone
-  Minimum Area of Influence

**Trail System**

-  Potential Pedestrian/Bicycle Railroad Crossing
-  Open Space Nodes
-  Existing Trails
-  Proposed Trails

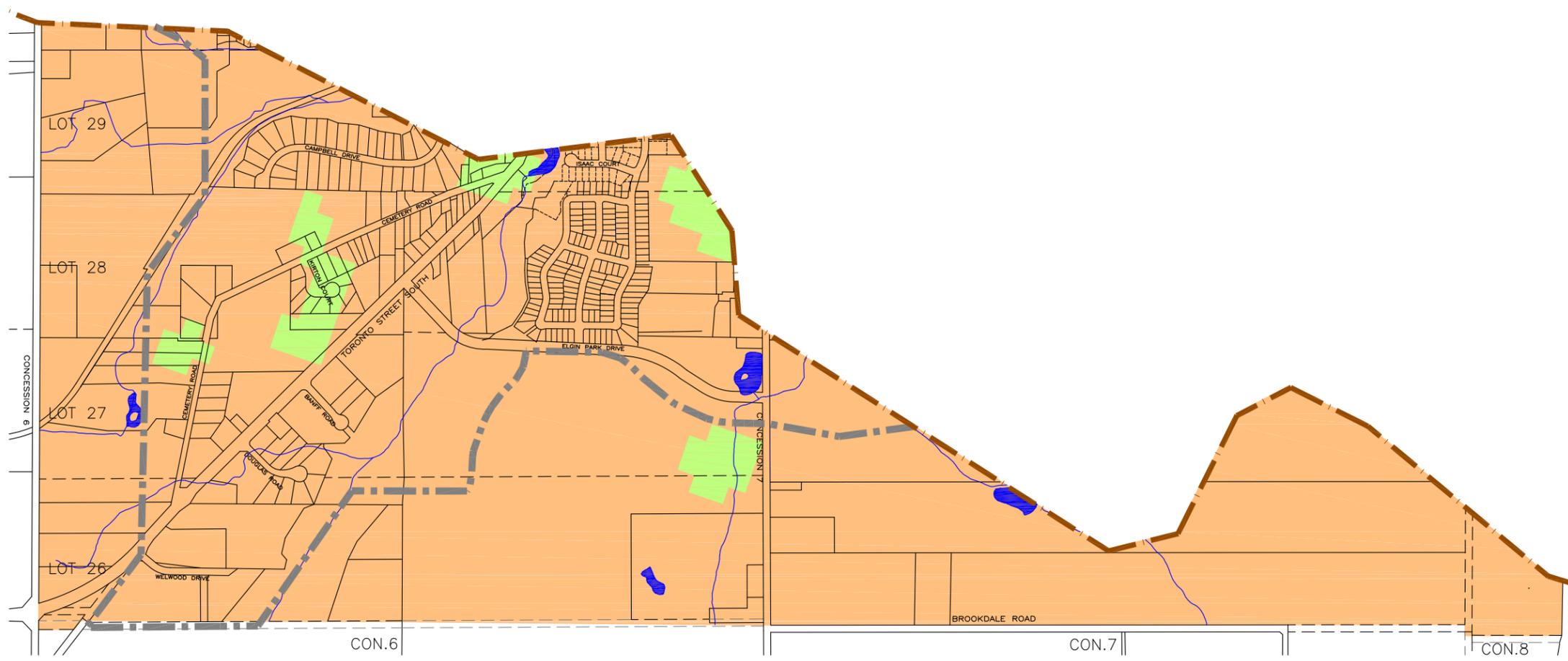


# SCHEDULE "B1"

## OAK RIDGES MORaine CONSERVATION PLAN

### AREAS OF HIGH AQUIFER VULNERABILITY

### UXBRIDGE URBAN AREA



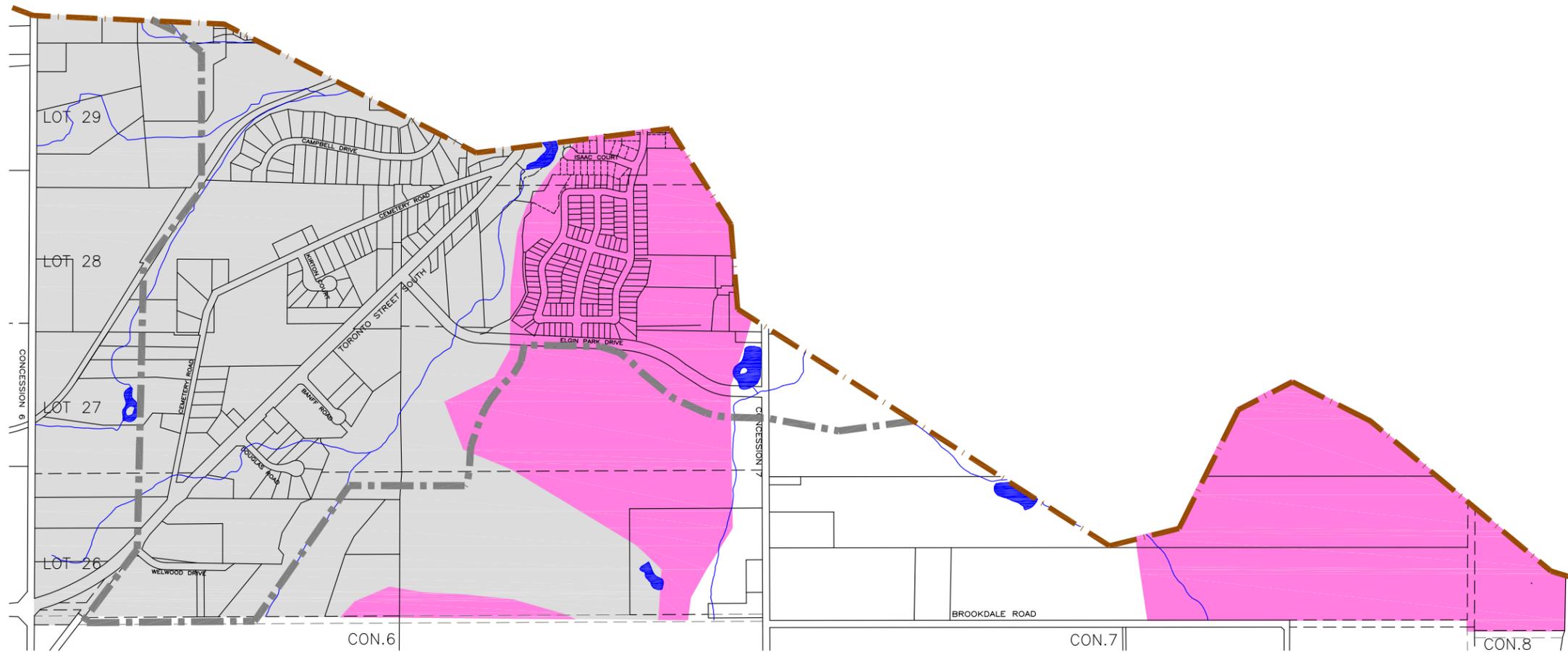
- Urban Area Boundary
- Oak Ridges Moraine Conservation Plan Area Boundary
- Watercourses
- Waterbodies
- High Aquifer Vulnerability
- Low Aquifer Vulnerability

# SCHEDULE "B2"

## OAK RIDGES MORaine CONSERVATION PLAN

### LANDFORM CONSERVATION AREAS

#### UXBRIDGE URBAN AREA



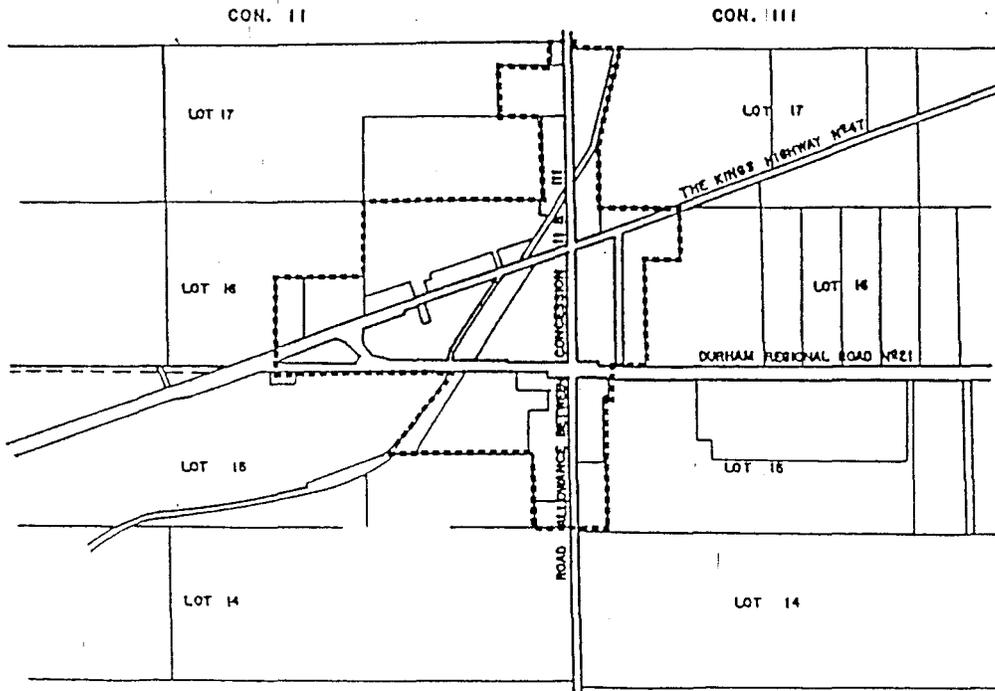
-  Urban Area Boundary
-  Oak Ridges Moraine Conservation Plan Area Boundary
-  Watercourses
-  Waterbodies
-  Landform Conservation Area Category 1
-  Landform Conservation Area Category 2

0 100 200 300 400 500 METRES

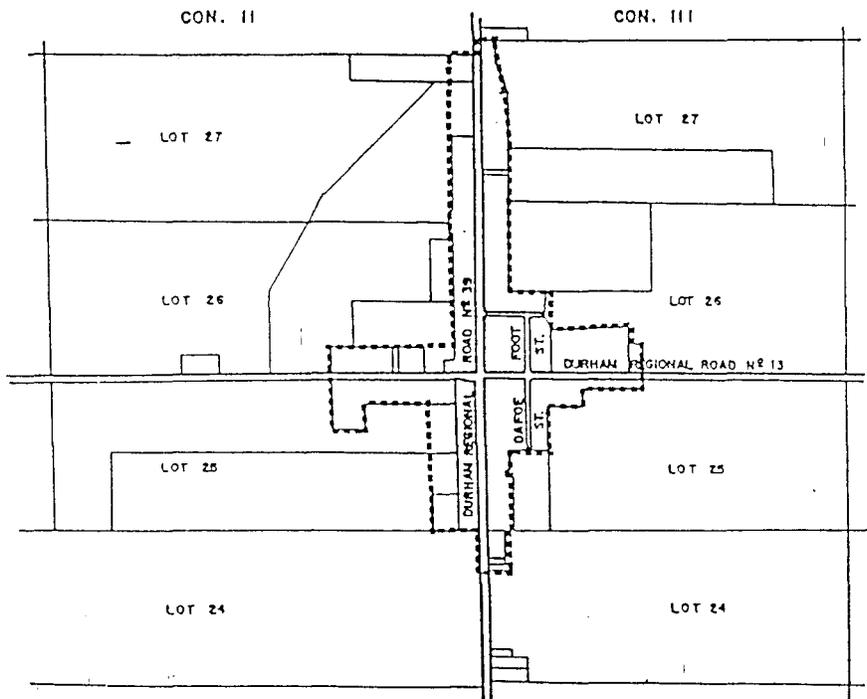
August 2012

# SCHEDULE "C"

## COMMUNITY IMPROVEMENT AREAS



HAMLET OF GOODWOOD  
APPROX. SCALE 1:2000



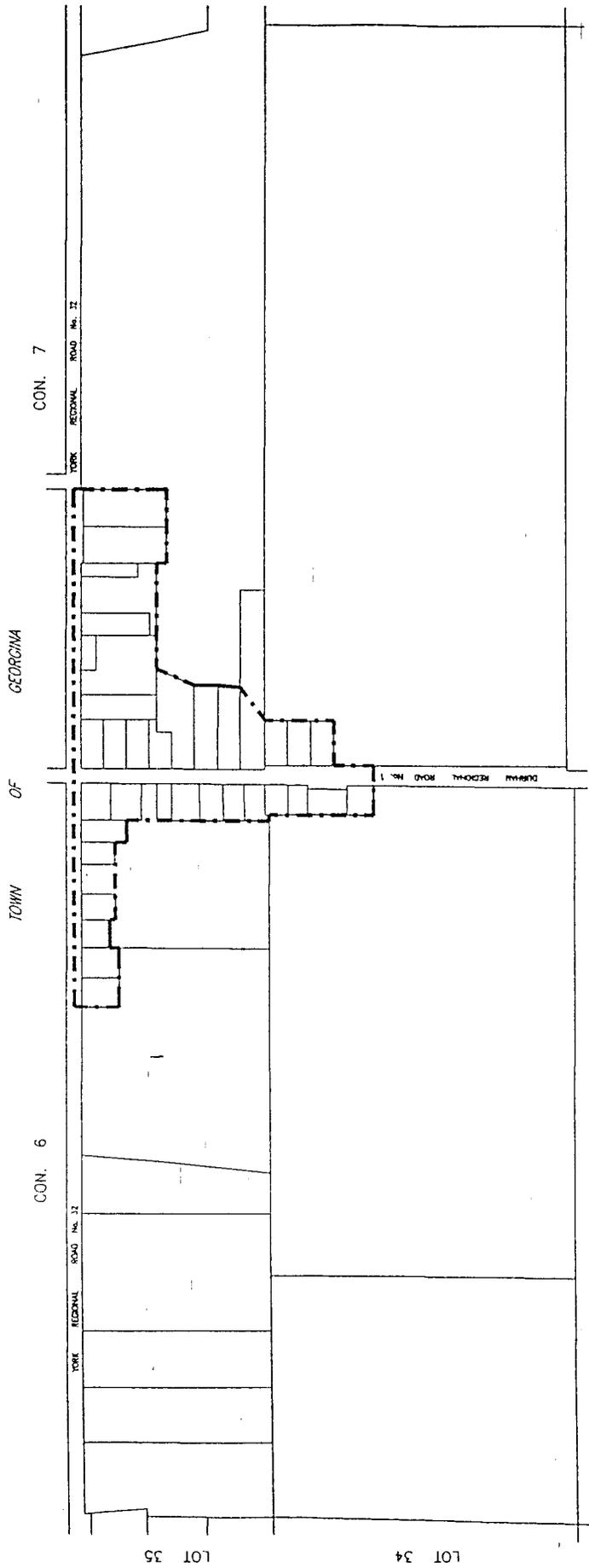
HAMLET OF ZEPHYR  
APPROX. SCALE 1:2000

**LEGEND**

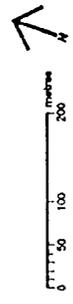
BOL      Y OF COMMUNITY  
IMF      .MENT AREAS



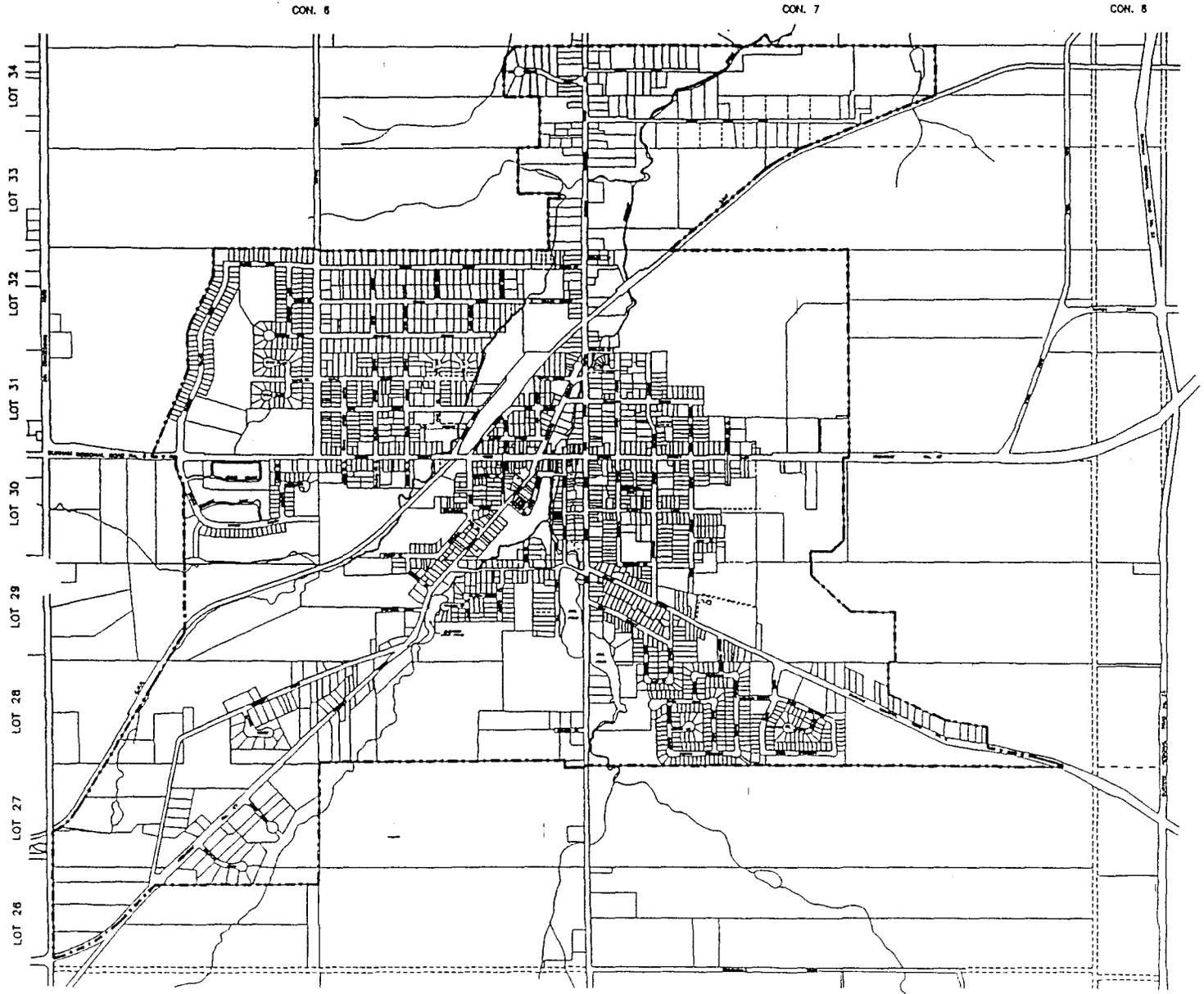
SCHEDULE 'C'  
COMMUNITY IMPROVEMENT AREAS



HAMLET OF UDORA  
TOWNSHIP OF UXBRIDGE



SCHEDULE 'C'  
COMMUNITY IMPROVEMENT AREA



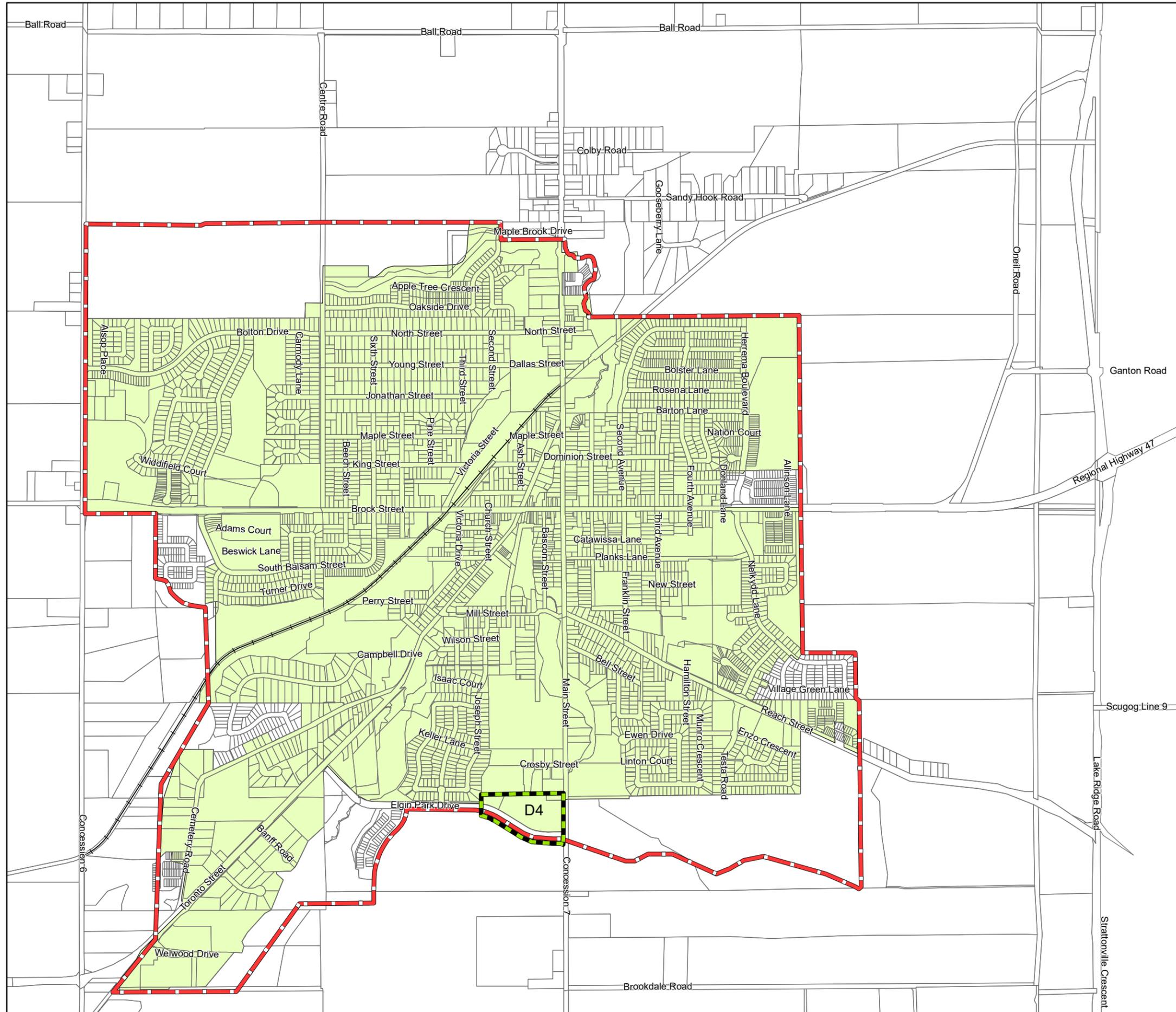
UXBRIDGE URBAN AREA  
TOWNSHIP OF UXBRIDGE

--- BOUNDARY OF COMMUNITY  
IMPROVEMENT AREA

0 500 metres

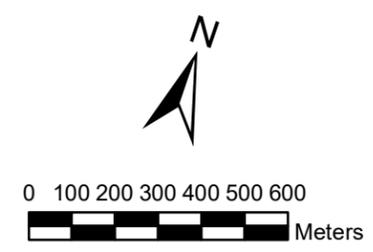


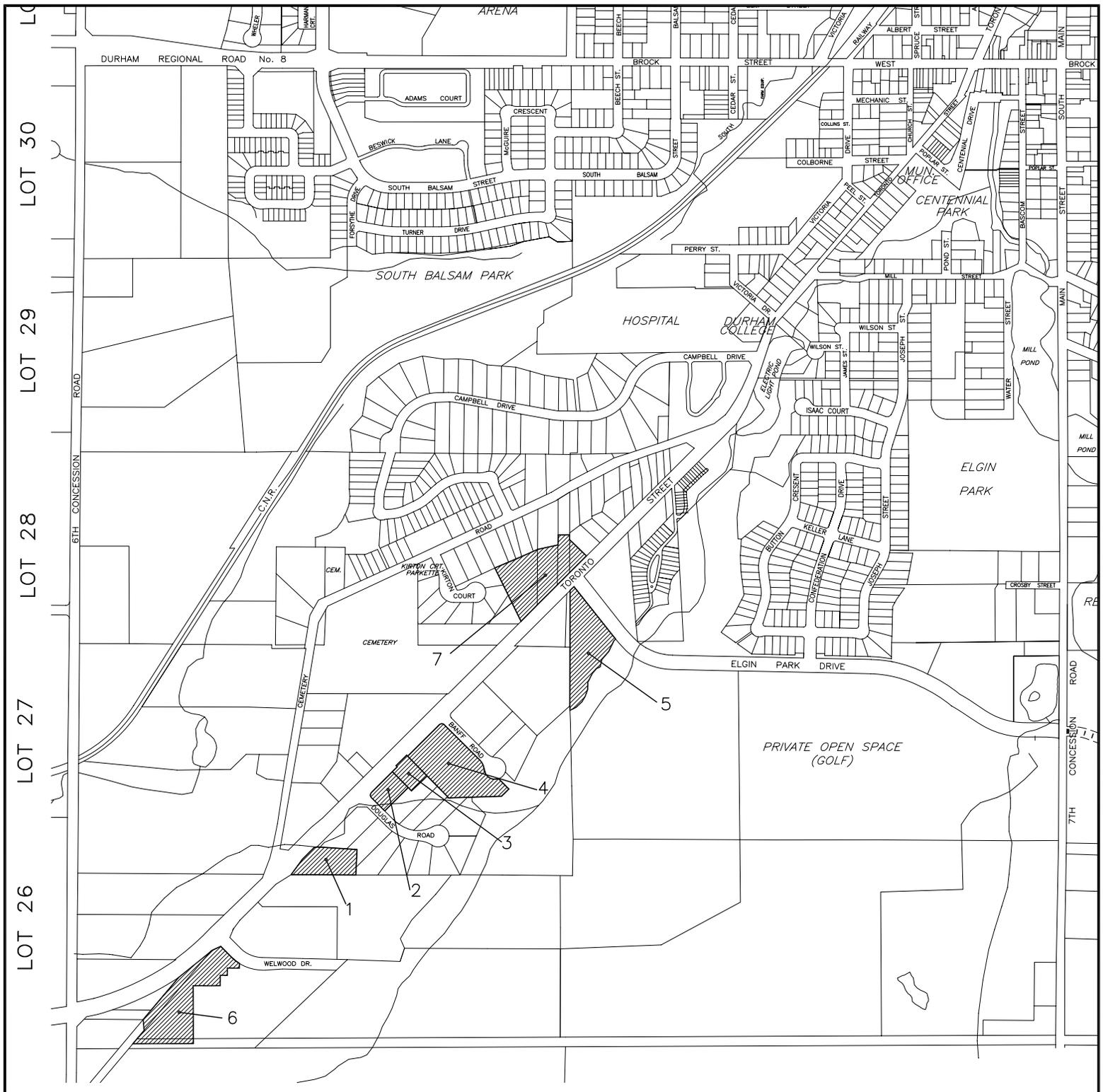
Schedule "D"  
 Built Boundary  
 Uxbridge Urban Area  
 Official Plan of the Township of Uxbridge



**Legend**

-  D4 Deferral
-  Urban Area Boundary
-  Uxbridge Built Boundary





Corridor Commercial

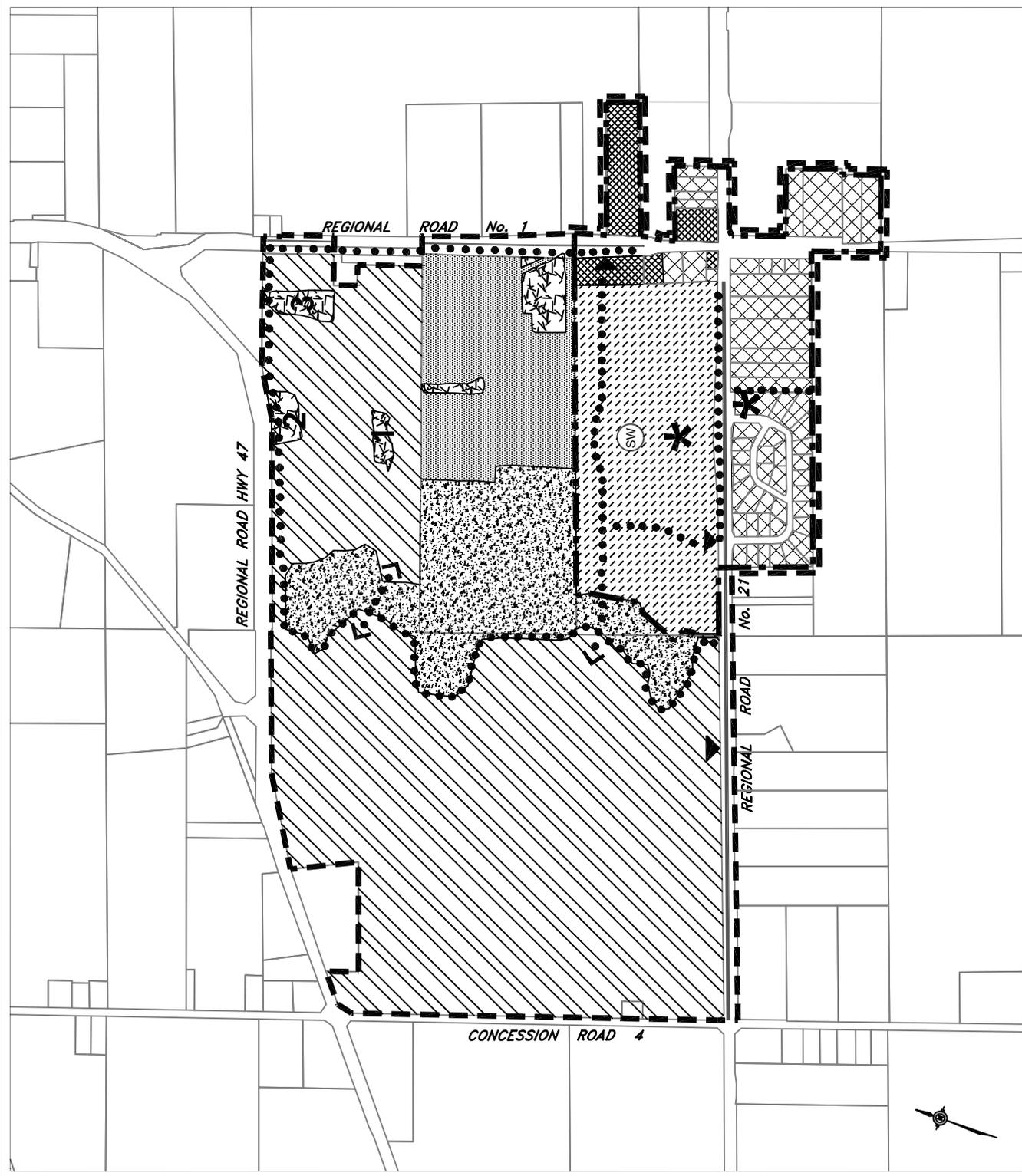
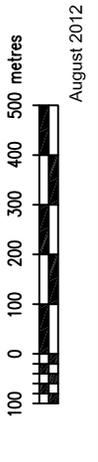
**SCHEDULE "E"**

**CORRIDOR COMMERCIAL  
SPECIAL POLICY SITES  
UXBRIDGE URBAN AREA**

Office Consolidation Including  
Modifications, Deferrals and Appeals  
Ontario Municipal Board. August 2007

Schedule "F"  
 LAND USE AND  
 TRANSPORTATION PLAN  
 HAMLET OF COPPINS CORNERS  
 AND ADJACENT LANDS  
 SECONDARY PLAN  
 OFFICIAL PLAN OF THE TOWNSHIP  
 OF UXBRIDGE

- SECONDARY PLAN AREA
- - - HAMLET AREA
- [diagonal lines] RESIDENTIAL AREA
- [cross-hatch] EXISTING HAMLET RESIDENTIAL AREA
- [grid] HAMLET INSTITUTIONAL / COMMERCIAL AREA
- [stippled] MAJOR FOREST AREA
- [irregular pattern] FOREST AREA
- [diagonal lines] ORM COUNTRYSIDE/GOLF COURSE
- [horizontal lines] ORM COUNTRYSIDE AREA
- [dotted] POTENTIAL TRAIL/WALKWAYS
- [star symbol] PARK AND OPEN SPACE AREA
- [circle with SW] STORMWATER MANAGEMENT FACILITY
- [solid line] TYPE A ARTERIAL ROAD
- [dashed line] TYPE B ARTERIAL ROAD
- [dotted line] LOCAL ROAD (Existing)
- [arrow symbol] ACCESS TO REGIONAL ROAD



# SCHEDULE H

## Township of Uxbridge Oak Ridges Moraine Conservation Plan Area Land Use Plan



- Municipal Boundary
- Roads
- Railway
- Watercourses
- Waterbodies
- Oak Ridges Moraine Conservation Plan Area Boundary
- Policy Area 1.9.9.1 Approved Mineral Aggregate Extraction Area
- Policy Area 1.9.9.2 Approved Major Recreational Use
- Policy Area 1.9.4.3 iii Industrial
- Non-Decision Area
- Uxbridge Urban Area Secondary Plan Area
- Coppins Corners and Goodwood Secondary Plan Areas
- Hamlet Areas
- Countryside Area
- Natural Linkage Area
- Natural Core Area
- Site Subject to OMB Decisions of June 29, 2000 and August 14, 2002



0 0.5 1 2 Kilometres

# SCHEDULE I

## Township of Uxbridge Oak Ridges Moraine Conservation Plan Area Key Natural Heritage and Hydrologically Sensitive Features



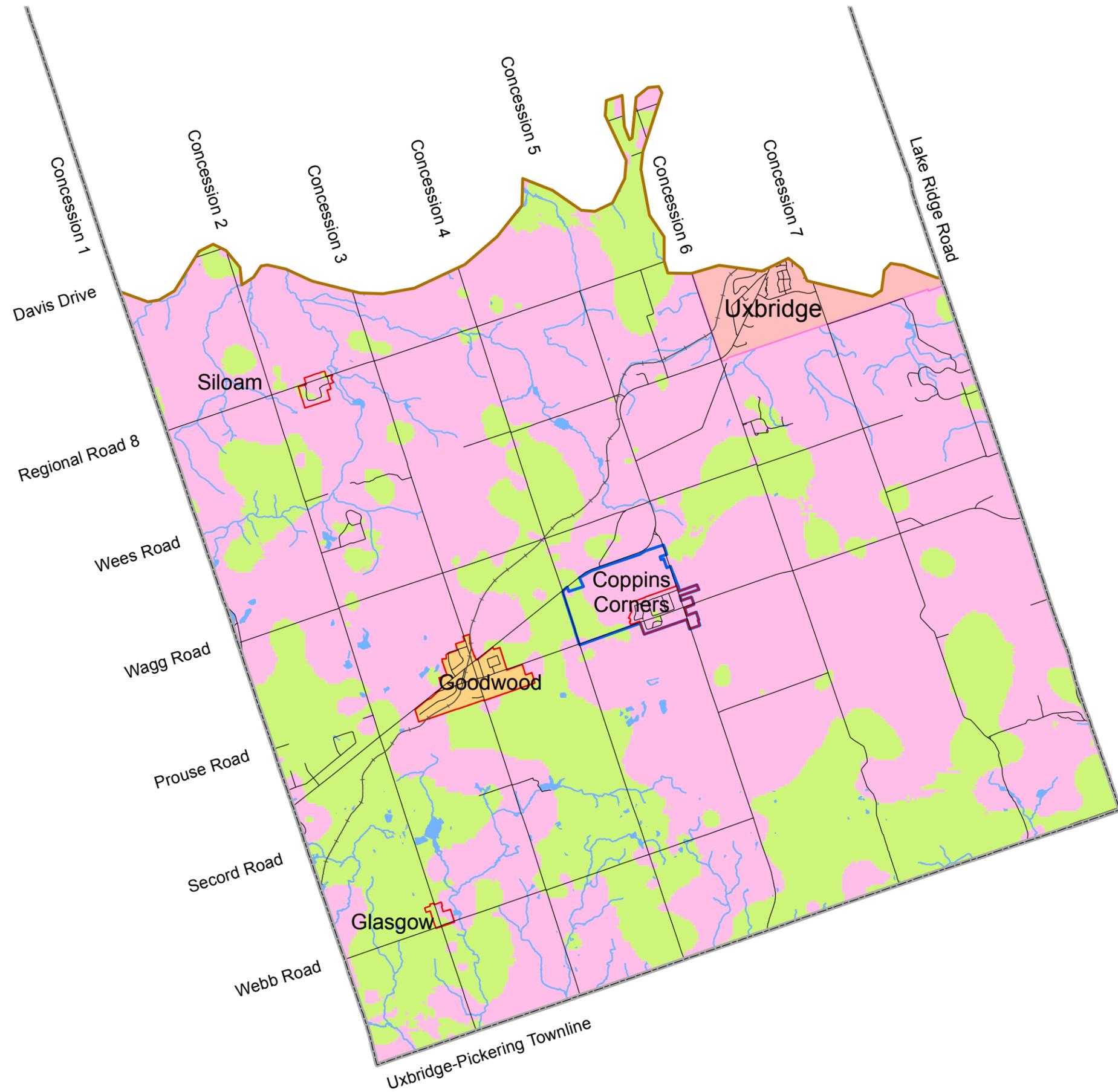
- Municipal Boundary
- Roads
- Railway
- Oak Ridges Moraine Conservation Plan Area Boundary
- Uxbridge Urban Area Secondary Plan Area
- Coppins Corners and Goodwood Secondary Plan Areas
- Hamlet Boundary
- Watercourses
- Waterbodies
- Kettle Lakes
- Wetlands
- ESA
- ANSI (Life Science)
- ANSI (Earth Science)
- Significant Woodlands
- Minimum Vegetation Protection Zone
- Minimum Area of Influence
- Chalk Lake Catchment Area Minimum Area of Influence



1.5 0.75 0 1.5 Kilometres

# SCHEDULE J

## Township of Uxbridge Oak Ridges Moraine Conservation Plan Area Areas of Aquifer Vulnerability



- Municipal Boundary
- Roads
- Railway
- Oak Ridges Moraine Conservation Plan Area Boundary
- Watercourses
- Waterbodies
- Uxbridge Urban Area Secondary Plan Area
- Goodwood Secondary Plan Area
- Coppins Corners Secondary Plan Area
- Hamlet Boundary

### Oak Ridges Moraine Areas of Aquifer Vulnerability

- High Aquifer Vulnerability
- Low Aquifer Vulnerability



# SCHEDULE K

## Township of Uxbridge Oak Ridges Moraine Conservation Plan Area Landform Conservation Areas



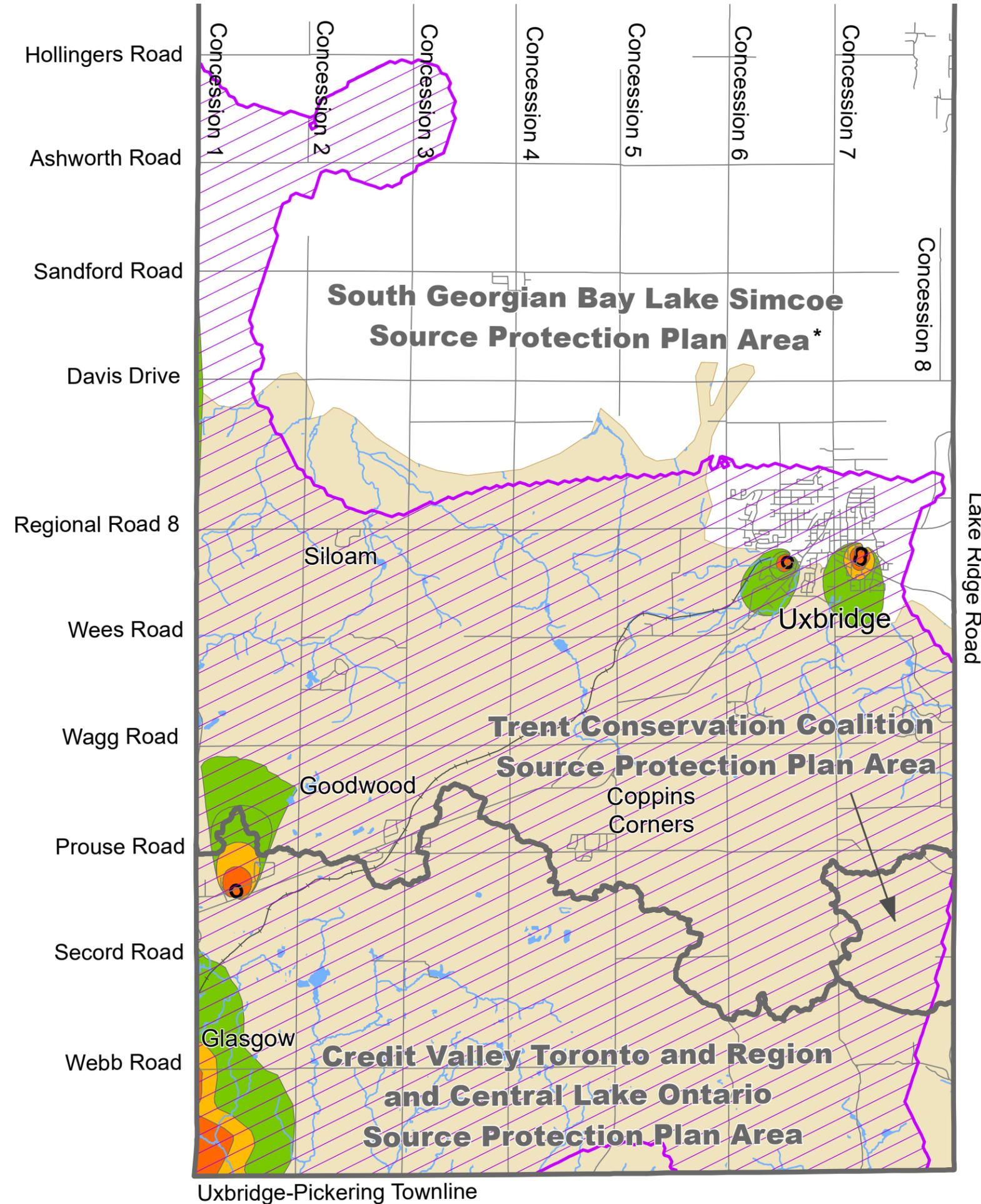
- Roads
- Municipal Boundary
- Railway
- Oak Ridges Moraine Conservation Plan Area Boundary
- Watercourses
- Waterbodies
- Uxbridge Urban Area Secondary Plan Area
- Goodwood Secondary Plan Area
- Coppins Corners Secondary Plan Area
- Hamlet Boundary

- Oak Ridges Moraine Landform Conservation Area**
- Landform Conservation Area Category 1
  - Landform Conservation Area Category 2



# SCHEDULE L

## Township of Uxbridge Oak Ridges Moraine Conservation Plan Area Wellhead Protection Areas



- Township of Uxbridge Boundary
- Oak Ridges Moraine Conservation Plan Area
- Source Water Protection Plan Areas
- Wellhead Protection Area (WHPA)**
- Wellhead Protection Zones**
- WHPA-A 100m Zone
- WHPA-B 0 - 2 Year Time of Travel
- WHPA-C 2 - 5 Year Time of Travel
- WHPA-D 5 - 25 Year Time of Travel
- WHPA-Q1/WHPA-Q2

\* For purposes of WHPA-Q requirements - single detached residential dwellings are exempt from the definition of "major development" in the South Georgian Bay Lake Simcoe Protection Region